



**TOWN OF WATERTOWN
PLANNING AND ZONING COMMISSION
SPECIAL MEETING MINUTES
Wednesday, June 17, 2026, 6:30 p.m.
Watertown Town Hall, Town Council Chambers
61 Echo Lake Road**

1. CALL TO ORDER

Chairman Ray Antonacci called the meeting to order at 6:30PM and took attendance.

Members Present: R. Antonaci, D. DiVito, K. Demirs, L. Cavallo, J. McHugh, J. Nygren, J. Masi
(Present at 8 :35PM)

Members Absent: J. Duva, R. Antonetti

Also Present: S. Musselman, C. Natusch, P. Bunevich, C. Allen

Appointment of Alternates: Jack McHugh was seated for R. Antonetti

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. PUBLIC PARTICIPATION

5. APPROVAL OF MINUTES

a. Regular Meeting – April 1, 2026

R. Antonacci moved to table the approval of the April 1, 2026, minutes. D. DiVito seconded and the motion to approve carried unanimously.

6. OLD BUSINESS

- a. 28 Riverside Street – Solli Engineering on behalf of Palm Coast Capital, LLC (Tractor Supply) –** Site plan modification to approved site plan #2025-05 to increase driveway grade, elevation of proposed development, and replace stormwater detention basin with an underground detention system. *Application received 4/1/26.*

Casey Birch, of Soli Engineering was present on behalf of the applicant Palm Coast Capital, LLC. Also present was Matt Darling of Palm Coast Capital.

Since the last meeting they have received approval from the CCIWA on 4/9. A site walk was scheduled for the PZC earlier in the spring; however, no Commissioners were able to attend so staff were given a walk through of the site with Soli Engineering. Both S. Musselman and C. Natusch were present. R. Antonacci asked if staff had any further comments on the applicant. P. Bunevich stated that the Engineering Department had no further comments or questions.

J. McHugh moved to approve the site plan modification. K. Demirs seconded and the motion to approve carried unanimously.

b. 110 Woodbury Road – Stephanie Cummings, Esq. (Carmody) on behalf of the Taft School – Petition for waiver of fees pursuant to Ordinance 36-4 Taft School, 110 Woodbury Road, Watertown, CT. (*Petition received 3/4/26*).

Attorney Stephanie Cummings was present on behalf of the applicant, Taft School, and gave an overview of her applicants request to waive a portion of the fees associated with the site plan / special permit application.

R. Antonacci responded that the Commissions only authority to reduce the application fee is under Section 3.2 of the fee ordinance. A waiver can be permitted for 1 of 3 scenarios, A) the re-filing of an application within 1-year of an application withdrawal, B) a substantial public benefit or, C) a Commission error in applying the fee. Since Taft's request meets neither A or C, and a specific finding of a public benefit under B is absent there is no basis for the Commission to waive the fee. This is consistent with the Commission's treatment of comparable projects. In 2024, Forum Plastics, the last large-scale application before this Commission, paid the full \$30,600 site plan fee for the \$14,500,000 project under the same fee formula established in the ordinance. Waiving Taft's fee where a comparable applicant paid in full, and no justification under Section 3.2 has been shown, would be arbitrary.

D. DiVito agreed with R. Antonacci's reasoning and shared that he understands Taft's position, however, he felt that Taft didn't consider everything that is involved in monitoring a project of this magnitude until completion. He added that the fee is a set calculation that all applicants are subject to and Taft isn't being treated differently. J. Nygren also agreed that the fee was fair considering the scope of the project.

S. Cummings responded that she believes the fee ordinance does permit the fee to be reduced when it is clearly excessive in relation to the cost for the town to review the application. She further stated that the statute supports this as well and that the fee needs to be proportionate to the cost of review of the application.

K. Demirs added that he feels that approximately \$140,000 fee is too much, however, the Taft proposed \$35,000 wasn't enough. So, if the Commission and Taft cannot figure out how to arrive at a number between there he stated that he couldn't support the waiver. S. Cummings responded that they were willing to engage in additional conversation regarding the fee but that she hadn't seen anything to support denying the waiver.

R. Antonacci stated that the Town appreciates Taft as an important part of the community and would like that to continue, however, he cannot support the waiver for the reasons explained in accordance with Section 3.2 of the ordinance.

D. DiVito moved to deny the waiver of fees pursuant to Ordinance 36-4. J. Nygren seconded and the motion to deny carried unanimously.

As a result of the decision to deny the fee waiver request, S. Cummings stated that Taft is prepared to tender full payment of the site plan / special permit fee. The fee was then submitted to Town Staff before item# 7a proceeded.

7. CONTINUED PUBLIC HEARINGS

- a. 110 Woodbury Road – Stephanie Cummings, Esq. (Carmody) on behalf of the Taft School** – Site Plan / Special Permit for the construction of two new 45,000 ft² dormitories with associated site improvements to include landscaping, walkways, and stormwater management. *(Application received March 4, 2026, Public Hearing April 1, 2026).*

R. Antonacci read the public hearing rules into the record before discussion began. Attorney Stephanie Cummings was again present for the applicant, Taft School, and explained that a full presentation was prepared for the application and asked the project engineer to highlight the changes made to the stormwater management plan.

Rodney Morrison, P.E., principal for the LRC Group, was present and explained the differences between the new current plan and the stormwater plan that was previously presented to the Commission in April. Additional bio-swales were added to incorporate the additional stormwater flow that was omitted from the plan's original calculations. The up-gradient area to North Street was missed in the original calculations. R. Morrison stated they now feel comfortable that the plan accommodates all the necessary stormwater retention on site. S. Cummings added that the additional stormwater infrastructure doesn't encroach within any wetlands or upland review area and as such doesn't require additional review by CCIWA. Staff have met with S. Cummings and the LRC group to go over the changes made since the last meeting.

D. DiVito asked what the bio-swales look like. R. Morrison responded that it's a shallow vegetated swale that takes stormwater runoff and lets it filter through the vegetation and infiltrate back into the soil. The remaining water, that isn't infiltrated, is then transferred into the rest of the stormwater system. P. Bunevich stated that he reviewed the revisions and that they comply with town regulations as well as the DEEP Stormwater Quality Manual guidelines.

J. McHugh asked if the two dormitories would increase enrollment to Taft. CFO of the Taft School, Jake Odden, responded that they will not and explained that it will allow the school to house more students on campus, however, the overall school size will not change.

Currently the student cohort averages between 590-600 students, and the new dormitories will allow them to de-densify the existing dorms that have become overcrowded. The dorms are designed for the younger cohort of 9th graders as well as providing space for faculty within each floor of the dorms. There is 5 staff units and capacity for 68 students in each dorm. J. McHugh stated his concern that if the student population grows, so will the need for more faculty and teachers and that they would need housing somewhere. J. Odden responded that his would be true if it occurred, however, Taft is firmly committed to maintaining the existing size of the school both with students and faculty and that they are positioned competitively with other private schools in the region. J. McHugh added that he isn't against growth, he is just concerned with more housing being taken off the grand list. J. Odden appreciated the concern and stated that the added staff units (10-total between the new dorms) would help alleviate this pressure. It was also added that Taft keeps the PILOT payment in line with the tax liability that is taken off the grand list and that if further units were taken off the tax rolls that the PILOT payment would be adjusted accordingly to be a good neighbor and member of the community.

D. DiVito shared that appreciates the level of presentation that Taft has provided throughout the process and their ability to address all the questions and concerns of the Commission. His concerns are related to the process of construction and how that will be managed by the school. D. DiVito asked what the hours of construction would be to address the concerns of the neighbors. J. Odden stated he was unsure of the exact hours of construction but would ensure that the construction managers, O&G, will adhere to the ordinances. He also acknowledged the issues that had occurred during the construction of the Turf Fields and steps the school took to address those concerns at the time. S. Cummings added that measures have been taken to be good neighbors throughout the project including tracking pads, spraying down vehicles to minimize dust, off site staging etc. D. DiVito added that another concern of his is the pressure added to an already strained police force and volunteer fire service. S. Cummings reminded the Commission that the new buildings will not increase the student cohort and that the increased oversight of staff in these buildings will help mitigate potential incidents. J. Odden stated the school remains committed to educating the students on best practices to minimize non-emergency calls. Dan Sacconne, representative of the Taft School, added that the new buildings will allow for the very best emergency systems to be used that will also help minimize nuisance calls. The systems will also be updated throughout the campus to work with the new emergency systems being installed in the new dorms.

K. Demirs asked what the expected construction period would be for the project. D. Saccone responded that it will be an 18-month process beginning to end. Groundbreaking is expected for March 2027 and will be completed for the fall 2028 semester.

With no further comments or questions from the Commission R. Antonacci opened the hearing to the public for comment.

- *Heather Allen, 101 Walnut Street – Was present at the 1st hearing and is still concerned with the size of the project and the height of the buildings. She questioned how they received approval for the height of the buildings. Is concerned with lighting and adverse*

impact to the neighborhood and effects to her home. Felt that lighting was never adequately addressed. North Street is a busy street and is concerned with the mess and noise from construction she experienced during the turf field project. Additionally concerned with landscaping for screening.

- *Diane Chere, 87 North Street – Has many concerns with the dorms including the proximity of the new dorms to her property. Noise, lighting, and site management were also cited as concerns. She experienced bad dust and road conditions from the last project. Is concerned with the landscape screening and how they will be able to adequately screen given the tight space between her home and the project site.*

With no further public comment R. Antonacci asked if the applicant would like an opportunity to add any additional information.

S. Cummings came forward and offered further details and explanation on any aspect of the project should the Commission have any questions. She spoke specifically to the height concerns raised by the public, noting that the height will be consistent with the overall campus and that no variance is required to comply with the zoning regulations. All lighting will be dark sky compliant and robust landscaping plans have been developed. The landscape architect designed the plans to be both aesthetic and provide screening for light, noise, and act as a natural physical buffer. She referred to her earlier comments on site management considerations that have been built out and noted that doing both dorms as once will mitigate the impact to the neighborhood by not having two separate construction periods.

D. DiVito asked for clarification on Ms. Chere's concern with the proximity of the buildings to her home. S. Cummings responded that actual project area is hundreds of feet from her property and that her property borders the access road area. Extra landscape screening was intentionally added to this area to address Ms. Chere's concerns. S. Musselman asked for clarification on exactly how far her house was from the project area and what specially was being proposed for landscaping in this area. Robert Douglass of Voith and Mactavish Architects, LLP, was present as the project's architect and noted that the closest point of Ms. Chere's property to the dorms was actually 60'. This point is a faculty residence and was designed this way intentionally to reduce noise impacts to the neighborhood. The closest dorm to Ms. Chere's property is more than 125'. D. DiVito then followed up by asking what kind of landscape screening was in this area. Project Manager D. Saccone stated that there will be a large number of trees being planted in the area. The landscape plan was designed with retaining walls in this area so the mature trees along the property boundary could be preserved. Nearly a \$1,000,000 in plantings is proposed for the project and plantings will be large 4-6" caliper inch trees.

S. Musselman then noted, for the record, that a 6/9/26 letter had been received from the applicant granting an extension for the deadline to close the public hearing to 6/17/26. D. DiVito moved to close the public hearing. J. Nygren seconded and the motion to close carried unanimously.

J. McHugh moved to approve the special permit and site plan. K. Demirs seconded and the motion to approve carried unanimously.

8. NEW BUSINESS

- a. 758 Litchfield Road – Elvis Methoxha** – 8-24 review for the sale of a town-owned parcel (MBL# 053-33A-009) for the construction of a new driveway with improved sightlines.

Elvis Methoxha, property owner of 758 Litchfield Road, was present and explained the reasoning for the 8-24 review. The property has sightline issues at the existing driveway and acquiring the vacant adjacent town-owned parcel (MBL# 053-33A-009 Litchfield Road) would allow him to construct a driveway with improved sightlines that would benefit public safety. In addition to the sightline concerns the existing driveway is very steep and the new driveway could be built with a more favorable grade if he is able to acquire the vacant town-owned parcel. K. Demirs asked if there was a map of the town parcel. E. Methoxha stated that it was in the Commission packet and that the sight-line analysis was also included. K. Demirs stated that the Town Council is looking into other vacant town-owned properties at this time as well.

R. Antonacci moved to issue a favorable 8-24 review recommendation to the Town Council. D. DiVito seconded and the motion to issue a favorable recommendation carried unanimously.

- b. 470 Straits Turnpike – Carmine Castiglione** – Permit extension request for a site plan / special permit approval for an age-restricted housing development to expire on 12/1/26. MBL# 152-256-003.

R. Antonacci asked what the date of expiration for the permit would be if granted. C. Natusch stated that it would be for 5 years. S. Musselman stated that it would expire on 12/1/31.

R. Antonacci moved to grant the site plan / special permit extension request. D. DiVito seconded and the motion carried unanimously. Approval is now valid to 12/1/31.

- c. 178-184 Commercial Street – Bela Sztanko** – Zone change request from IR-80 → B-SC to allow for car sales and repairs. MBL# 159-045-122.

Bela Sztanko was present for the application to request a zone change at 178-184 Commercial Street from IR-80 → B-SC to allow for car sales and repairs. B. Sztanko stated that he is a long time Watertown resident and he owns a Porche repair shop on Falls Avenue. He employs several Watertown residents and they have outgrown their current space and are looking to re-locate to Commercial Street. The current zoning is IR-80 and doesn't allow for car repair or sales by changing it to B-SC it will allow his decade old business to continue to grow in town. S. Musselman noted that this application is just the request for a zone change and that if approved the applicant will have to come back before

the Commission for approval to locate the business at this location. B. Sztanko noted that the neighbors of 178-184 Commercial Street are car dealerships like Crabtree Toyota and Valenti Volkswagen. J. McHugh asked if there needs to be two different zones in this area. R. Antonacci stated that this property directly abuts a parcel zoned B-SC so it wouldn't be considered spot zoning.

D. DiVito asked that since there are two buildings, what his plans were for both. B. Sztanko stated that the rear building is currently leased and is well established. His business will occupy the front building which has been vacant for some time. They are currently doing repairs to bring it up to a nice condition. The business is a small family-owned shop with a total of 5-6 employees. The business is multi-faceted with restoration of classic vehicles and custom race car builds meant for off street use only. Sales are also being considered as a future facet and as such is looking for approval for that as well. B. Sztanko explained to the Commission that his old building is already sold and having to wait many months to occupy the new space will put a significant strain on his business. R. Antonacci said that the soonest they could hold the hearing is for 8/5/26.

J. McHugh moved to schedule a public hearing for 8/5/26. D. DiVito seconded and the motion carried unanimously.

d. 394 Sand Bank Road -Michael Jedd- Farm stand with accessory parking and grading.
MBL# 162-021-010.

Michael Jedd, owner of Kalenauskas Farm, was present for the application. The application is for the relocation of an existing 12' x 20' farm store that was inadvertently placed halfway over the neighboring property line, so this would address the non-conformity issue. He is also looking to excavate an area along the road just to the west of the current location to place the farm store. A state grant was received to purchase a 10' x 12' walk-in freezer, so he is proposing to attach that to the rear of the store. Also proposed is a small parking area for the farm store, which is why the application had to come before the Commission and wasn't an administrative approval.

To bring the site grade down to road level there will be a significant amount of excavation involved. D. DiVito asked if there is any work within a wetland or upland review area associated with the project. M. Jedd responded that there is not. J. McHugh asked if there were any retaining walls proposed. M. Jedd stated no and that the grade will be sloped to a 3:1 and won't require a retaining wall.

J. McHugh moved to approve the site plan application. D. DiVito seconded and the motion to approve carried unanimously.

e. **3 Harvard Street-Napoli Associates, LLC** Application to establish Planned Development District (PDD). MBL# 133-213-004.

- (a) Zone Change Application in accordance with Section 4.6.1 C and Section 8.6
- (b) Application for Planned Development in accordance with Zoning Regulations Section 4.6.1(a) (Master Plan)
- (c) Regulation Amendment Application in accordance with Regulations Section 4.6.D1.b and Section 8.5.1

Attorney Franklin Pilicy was present for the application along with the applicant Napoli Associates, LLC. They were before the Commission approximately a year prior for the pre-app discussion and are now ready to formally apply. F. Pilicy requested the Commission to schedule a public hearing for the 8/5/26 meeting. David Hughes, P.E., was present as well and gave an overview of the documents submitted. Plans include and existing conditions map and a master site plan. D. Hughes and F. Pilicy had met previously with staff before applying and incorporated their comments into the plan. Most of the changes are to the interior and exterior of the building, however, some site improvements are also proposed which include the replacing of an existing fence, an enclosed dumpster and utility area, and arborvitae landscaping. 24 parking spaces are required and 26 spaces are provided. Other improvements include stormwater management and a rain garden. The light fixtures will be updated with new full cut-off lighting.

R. Antonacci raised concerns over the amount of impervious area and the lack of green space for the residents of the building. D. Hughes stated that it was an existing commercial development that is being converted to residential. R. Antonacci responded that it doesn't mean that it has to stay that way. The applicants reduced the impervious area by 5% with this plan. The Commission asked if any affordable housing was being proposed as part of the project. F. Pilicy stated that there was not. Also raised was the fact that the access aisle doesn't meet the standards of Section 6.2.E.3 and needs to be made wider and asked the applicant to check this. S. Musselman stated that the requirement is 25' and what is shown is 22.5'.

D. DiVito asked what kind of amenities the units will have. Applicant M. Cipriano responded that there will be custom cabinetry, stainless appliances, and granite counters. They are trying to keep the rents in affordable range of \$2,000 a month. R. Antonacci again brought up the lack of green space. M. Cipriano stated that yes the area is limited, however, there is a park located within walking distance. The Commission asked for clarification on how to set the hearing given the 3-part application. S. Musselman stated that all 3 parts will need to go to a hearing and, if approved, a site plan application will be required before they can begin construction. F. Pilicy pushed back on why a subsequent site plan application was necessary. S. Musselman responded that this is a

PDD and requires a special procedure spelled out in the regulations that must be followed. As presented, in the current zone, the use wouldn't be permissible and as such a PDD is required.

D. DiVito moved to set a public hearing for the 3 Harvard Street PDD application for 8/5/26. J. McHugh seconded and the motion to set a hearing carried unanimously.

- f. 401 Park Road – Dattco**– Site Plan modification for the installation of a new fuel tank on an existing concrete pad. MBL# 082-089-04B.

D. DiVito moved to approve the site plan modification. K. Demirs seconded and the motion to approve carried unanimously.

- g. 790 Echo Lake Road – Atlantis Service Center** – Site plan modification for the location and installation of a freestanding sign. MBL# 103-096-00C.

J. Nygren moved to continue the site plan modification application to the 8/5/26 meeting. D. DiVito seconded and the motion to continue carried unanimously.

9. PLANNING

- a.** Discussion of potential text amendment to allow bulk material storage in the IR-80 zoning district or the rezoning of parcels along Echo Lake Road from the IR-80 → IG-80 zoning district between Park Road and Rte. 8.

J. McHugh moved to schedule a public hearing for 8/5/26, for a zone change amendment to allow bulk material storage in the IR-80 zoning district for the rezoning of parcels along Echo Lake Road from the IR-80 → IG-80 zoning district between Park Road and Rte. 8. D. DiVito seconded and the motion carried unanimously.

10. COMMUNICATIONS AND BILLS

- a.** UCONN Extension Expanding Connecticut Agriculture through vacant lot activation and peri-urban Farmland Access linking.
- b.** City of Waterbury Zoning Commission Notice of Proposed Zoning Amendment, Public Hearing June 24, 2026, for the purpose of permitting Religious Institutions by Special Permit in the Park Industrial District.
- c.** Town of Woodbury Zoning Regulations text amendment Short-Term Rental - Public Hearing June 9, 2026.
- d.** City of Waterbury Zoning Commission Notice of Zoning Regulation Amendment Section 5.04.15 (RM District Maximum Residential Units per Building and Section 10.02.04 (Standards for Intensified two, three and multifamily Development) Public Hearing July 22, 2026.

- e. Town of Woodbury – Zoning regulations text amendments to site plan, mixed-use, and off-street parking standards – Public Hearing June 10, 2026.

The Commission accepted Communications and Bills

11. ADJOURNMENT

D. DiVito moved to adjourn at 8:28PM. K. Demirs seconded and the motion to adjourn carried unanimously.

- *Next Meeting Date: August 5, 2026*

Respectfully submitted,

Spencer Musselman, CZEO
Land Use Administrator
Town of Watertown, CT



Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road
Watertown, CT 06795
Telephone: (860) 945-5266

Website: www.watertownct.org

SITE PLAN APPROVAL (SA) / SPECIAL PERMIT (SP)

Applicant Information

Name: Danny Porco
Address: 555 s Columbus Ave Mount Vernon NY 10550
Email: permits@atlantismgmt.com Phone #: _____
Print Name: Danny Porco
Signature of Applicant: DANNY PORCO Date: 06-16-2026

Owner Information

Name: MARCONE FERDINANDO
Address: 35 LAUREL LN
WOLCOTT, CT 06716-2234
Email: _____ Phone #: _____
Print Name: MARCONE FERDINANDO
Signature of Owner: _____ Date: _____

Location of Property:

Address: 790 Echo Lake Road CT
Zone IR80 Non-conforming? Yes / No Map 103 Block 96 Lot C

Description of Existing Use/ Property

Type Of Use Gas Station - Retail
Size of Property: 4.60 acre
Number of Buildings/ Sq Ft approximately: 7800
Number of parking spaces: _____
Other important features: _____
Signage (# of signs & square feet) provide a cut sheet or sketch: _____

Description of Proposed Use

Uses: MID sign (price sign)

Number of Buildings/ Sq Ft approximately:

Number of parking spaces:

Signage (# of signs & square feet) provide a cut sheet:

24.4 height MID sign (aka Price sign)

Number of Employees

Professional Engineer/ Surveyor

Name: Robert Bronzino

Address: 100-3 south jersey Avenue

East Stauket NY 11733

Email: rbronzino@bronzinoengineering.com

Phone: 631-751-8299

Fees		
An additional \$60 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.		
Residential		\$250
Multi-family dwellings or Non- residential use		
	Value less than\$100,000	\$500
	Value \$100,000 to \$500,000	\$1,000
	Value more than \$500,000	\$1,000 plus \$200 for each
\$100,000 value		

Special permits or special exception (in addition to the application fee and site plan fee)		
	Residential	\$150
	Non-Residential	\$250
Excavation of fill materials		
	Less than 1,000 cubic yards	\$500
	1,000 to 49,999 cubic yards	\$1,000
	50,000 to 99,999 cubic yards	\$2,000
	100,000 or more cubic yards	\$4,000

To whom this may concern,

Hello, I would like your assistance in getting the appropriate approvals for the following.

I just purchased the property located at 178-184 Commercial St. in Watertown.

The property has long been vacant and overgrown. We plan to bring it back to life and improve the appearance of the grounds and the building to match the rest of the neighborhood.

Currently it is in IR80 Zoning, which does not permit our intended use.

I would like to change the zoning to BSC that allows car sales or repair at this location.

The building is in the same neighborhood as all the car dealerships in Watertown, so this wouldn't be a departure from the current use and feel of the surrounding businesses.

Crab Tree Toyota has a body shop facility adjacent to this property at 158 Commercial Street. There are multiple other car related businesses on Commercial Street, including the Volkswagen and Volvo dealerships along with several body shops.

We have a well established Car repair business in Oakville, at 11 Falls Avenue and we intend to relocate our facility to Commercial St.

Our business is centered around Porsche race cars and a small percentage of street cars.

We restore, maintain and fabricate race cars. We also design and build car components. We are a licensed auto repair business in good standing with the state of Connecticut.

We are a small family owned and operated business and provide employment to a handful of local people, we ourselves are long time Watertown residents, trying to improve our town.

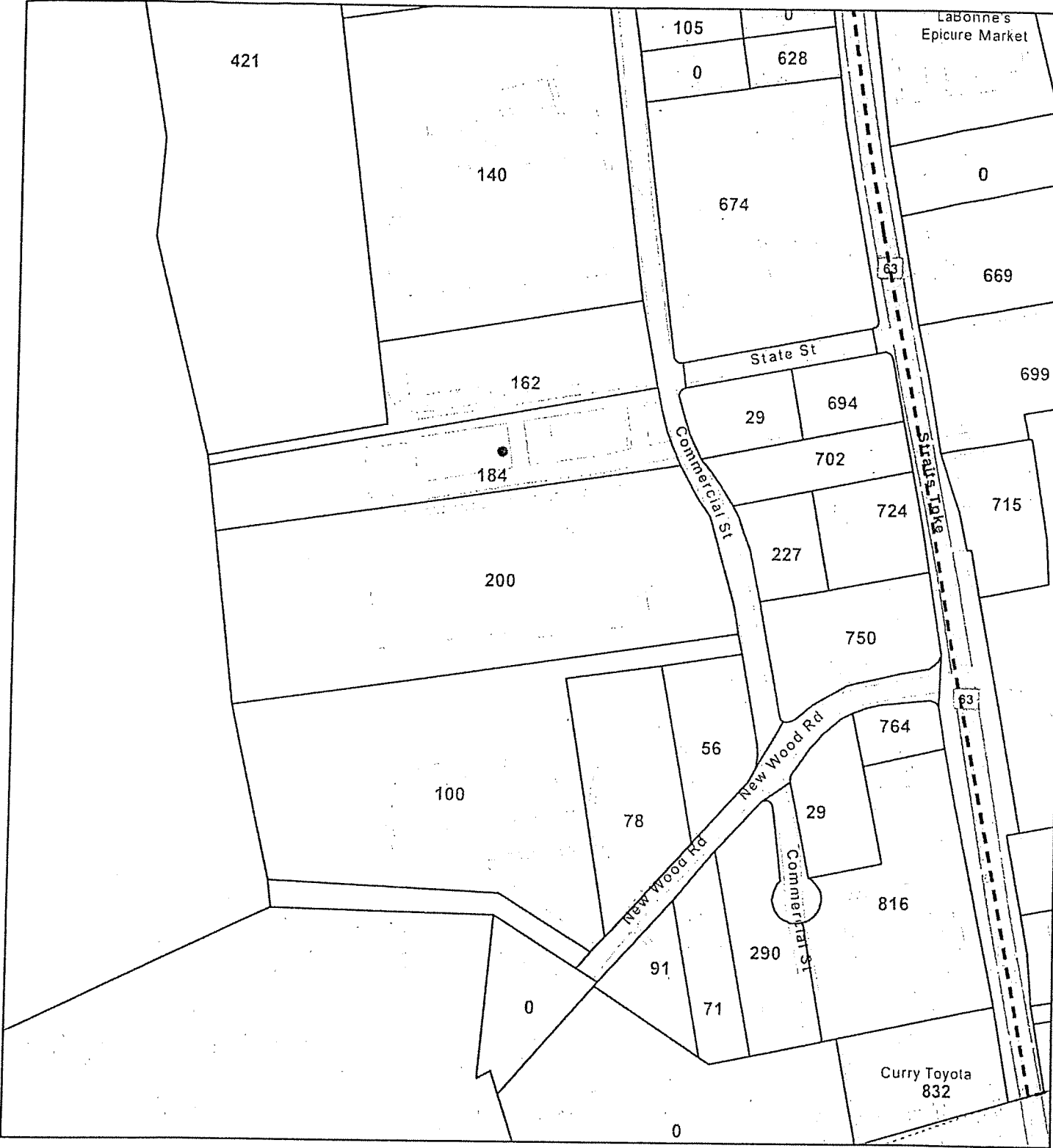
I would appreciate your help with this matter

Thank you!

Best regards,

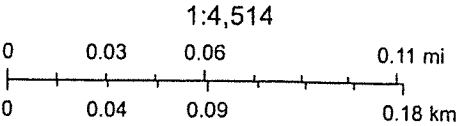
Bela Sztanko.

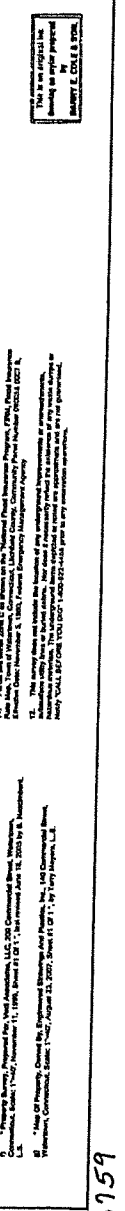
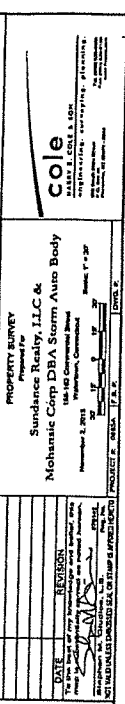
Watertown CT, Web Map

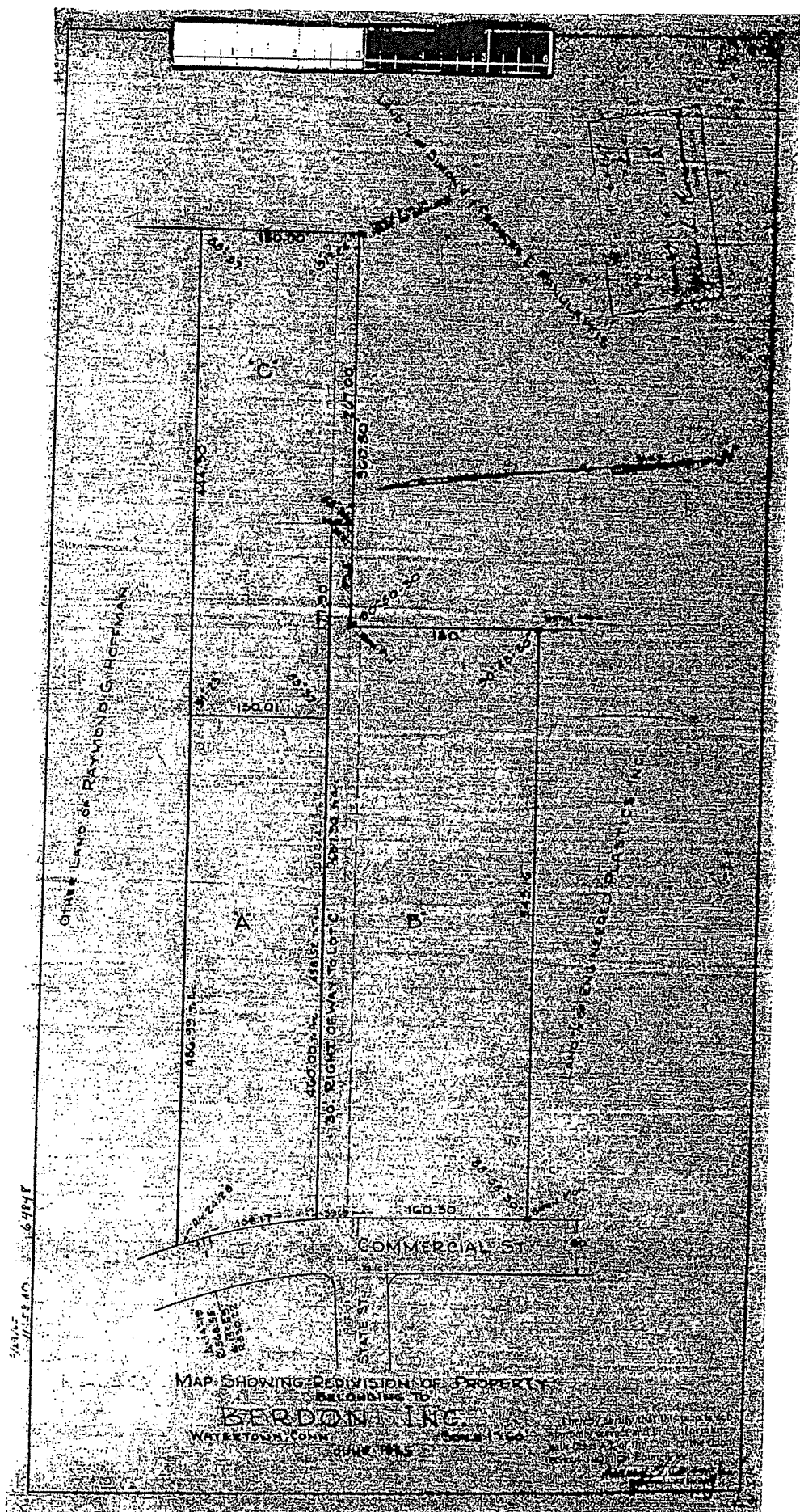


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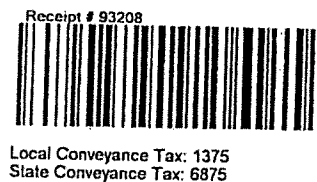
Parcel Polygons
Oakville Boundary







RETURN TO:
Bela Sztanko
215 Hopkins Rd
Watertown, CT 06795



BK: 2389 PG: 636
Instr #: 2026-143110
03/30/2026 11:35:33 AM
3 Pages
DEED
Lisa Dalton, Town Clerk

TRUSTEE'S DEED

Terry D. Vitale, Trustee of the Donald N. Vitale Trust Agreement dated February 10, 1992, duly qualified as trustee, whose address is 340 Sunset Drive, #1002, Fort Lauderdale, FL 33301 ("Grantor") for consideration paid grants to 178-184 Commercial Street, LLC a Connecticut limited liability company, whose address is 215 Hopkins Road, Watertown, CT 06795 ("Grantee") with TRUSTEE'S COVENANTS, all that certain piece or parcel of land together with all improvements thereon and appurtenances thereto as more particularly described on Exhibit A attached hereto and made a part hereof ("Premises").

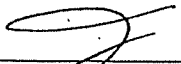
SAID PREMISES ARE ALSO CONVEYED SUBJECT TO, AND GRANTOR'S COVENANT HEREINABOVE SET FORTH EXCLUDES ANY OBLIGATION WITH RESPECT TO, THE FOLLOWING:

1. Any and all provisions of any ordinance, municipal regulation, or public or private law; any declarations, restrictions, covenants, matters and easements of record; any state of facts which an accurate survey or personal inspection of the Premises might reveal; water and sewer use charges; Watertown fire district taxes; Taxes of the Town of Waterford on the List of October 1, 2025, and thereafter which Grantee herein assumes and agrees to pay.
2. Grant in favor of the New Milford Power Company dated May 22, 1903 and recorded in Volume 32 at Page 430, as modified by instrument dated November 19, 1915 and recorded in Volume 43 at Page 262 further modified by instrument dated August 9, 1917 and recorded in Volume 43 at Page 267, and as further modified by instrument dated June 5, 1918 and recorded in Volume 43 at Page 543 of the Watertown land records.
3. Drainage easement as set forth in a deed dated February 11, 1941 and recorded in Volume 95 at page 312 of the Watertown land records.
4. Permanent Easement in favor of the Connecticut Light and Power Company dated July 18, 1960 and recorded in Volume 136 at Page 279 of the Watertown land records.
5. Building line restrictions as set forth in a deed dated January 9, 1962 and recorded in Volume 140 at Page 132 of the Watertown land records.
6. Notice of Contest of Easement by Prescription and Notice of Building Encroachment by W.I.D.E. LLC dated September 15, 2009 and recorded in Volume 1672 at Page 197 of the Watertown land records.
7. Notes, notations, facts easements, encroachments and conditions as shown on Map No. 3480 on file in the office of the Watertown Town Clerk.

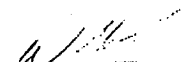
8. Leases and tenancies affecting the Premises.

Signed this 27th day of March, 2026.

Signed, sealed and delivered
in the presence of:



Jeanne S. Roberts, as witness



David R. Glavin, as witness

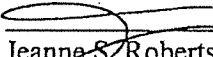


Terry D. Vitale, Trustee of the
Donald N. Vitale Trust
Agreement dated February 10, 1992

STATE OF CONNECTICUT)
)
COUNTY OF HARTFORD) ss: Hartford

On this the 26th day of March, 2026, before me, Jeanne S. Roberts, the undersigned officer, personally appeared Terry D. Vitale, Trustee of the Donald N. Vitale Trust dated February 10, 1992 of the city of East Hartford and State of Florida, known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that he executed the same in the capacity therein stated and for the purposes therein contained.

In witness whereof I hereunto set my hand.



Jeanne S. Roberts
Commissioner of the Superior Court

Exhibit A
Legal Description of Premises

FIRST PIECE

ALL THAT CERTAIN piece or parcel of land with all improvements thereon situated on the westerly side of Commercial Street, in the Town of Watertown, County of Litchfield and State of Connecticut, being shown as Lot "A" on map entitled "Map Showing Redivision of Property belonging to Berdon, Inc., Watertown, Conn., Scale 1 in = 60 ft, June 1965", Harry G. Owens, Jr., Surveyor on file in the Office of the Watertown Town Clerk as Map No. 1293.

Said parcel is bounded as follows:

NORTHERLY: 460.00 feet by Lot "9" as shown on said Map;

EASTERLY: 132.45 feet by Commercial Street, so-called;

SOUTHERLY: 486.99 feet by land now or formerly of Raymond G. Hoffman;

WESTERLY: 130.01 feet by Lot "C" as shown on said Map.

SECOND PIECE:

ALL THAT CERTAIN piece or parcel of land with all improvements thereon situated on the westerly side of Commercial Street, in the Town of Watertown, County of Litchfield and State of Connecticut, being shown as Lot "C" on map entitled "Map Showing Redivision of Property belonging to Berdon, Inc., Watertown, Conn., Scale 1 in = 60 feet, June, 1965" Harry G. Owens, Jr., Surveyor on file in the Office of the Watertown Town Clerk as Map No. 1293.

Said parcel is described and bounded as follows:

Commencing at a point in the northerly line of Lot "A" as shown on above-mentioned map. Said point being 460.00 feet westerly from the westerly street line of Commercial Street as measured along said northerly line of Lot "A", thence Southerly forming an interior angle of 88° 37' 130.01 feet to a point; thence westerly forming an interior angle of 91° 23' 444.90 feet to a point; thence northerly forming an interior angle of 88° 37' 150.00 feet to an iron pin in a heap of stones; thence east forming an interior angle of 91° 24' 267.00 feet; thence southerly forming an interior angle of 88° 36' 20.07 feet; thence easterly forming an exterior angle of 88° 37' 177.90 feet to the point of beginning.

Bounded:

NORTHERLY: by land now or formerly of Simon J. and Frances E. Panulaitis and by Lot "B" as shown on said Map, each in part;

EASTERLY: by Lot "B" and by Lot "A" each in part;

SOUTHERLY: by land now or formerly of Raymond G. Hoffman;

WESTERLY: by land now or formerly of Simon J. and Frances E. Panulaitis.

TOGETHER WITH Passway Rights over 30' passway across Lot "B" as shown on said map

Received for Record
03/30/2026 11:35:33 AM
Attest: *Kim Dalton*
Town Clerk, Watertown CT

BK: 1957 PG: 259
INST: 104243

Return To:
Carmody Torrance Sandak & Hennessey LLP
707 Summer Street
Stamford, CT 06901-1026

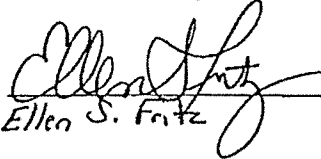
WARRANTY DEED
(Statutory Form)

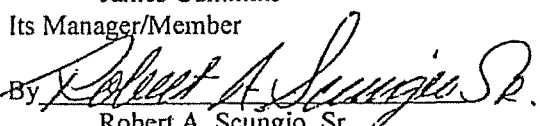
GRANTOR, W.I.D.E., LLC, a Connecticut limited liability company having a place of business at 832 Straits Turnpike in the Town of Watertown, County of Litchfield and State of Connecticut, for the consideration of FOUR MILLION AND 00/100 (\$4,000,000.00) DOLLARS, grants to GRANTEE, SUNDANCE REALTY, LLC, a Connecticut limited liability company having a place of business at 727 Central Avenue, Scarsdale, New York, all that certain property known as 158-162 Commercial Street situated in the Town of Watertown, County of Litchfield and State of Connecticut, more particularly described in Schedule A attached hereto and made a part hereof, with WARRANTY COVENANTS.

Signed this 23rd day of November, 2015.

Witnesses:


Franklin G. Pilicy


Ellen S. Foltz

W.I.D.E., LLC
By 
James Cummins
Its Manager/Member
By 
Robert A. Scungio, Sr.
Its Manager/Member

STATE OF CONNECTICUT :
: SS: Watertown November 23, 2015
COUNTY OF LITCHFIELD :

On this the 23rd day of November, 2015, before me, the undersigned officer, personally appeared JAMES CUMMINS and ROBERT A. SCUNGIO, SR. who acknowledged themselves to be the Manager/Member of W.I.D.E., LLC, a limited liability company, and that they, as such Manager/Member, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by themselves as Manager/Member.

In Witness Whereof, I hereunto set my hand.


Franklin G. Pilicy
Commissioner of Superior Court

GRANTEE ADDRESS
SUNDANCE REALTY, LLC
727 Central Avenue
Scarsdale, NY 10583

CONVEYANCE TAX RECEIVED
STATE \$ 50000.00
TOWN \$ 10000.00
WATERTOWN TOWN CLERK

BK: 1957 PG: 260
INST: 104243

SCHEDULE A

LEGAL DESCRIPTION

158 - 162 Commercial Street
Watertown, Connecticut

All that certain piece or parcel of land situated in the Town of Watertown, County of Litchfield, State of Connecticut, shown on a map entitled "Property Survey, Prepared For Sundance Realty, LLC & Mohansic Corp DBA Storm Auto Body, 158 – 162 Commercial Street, Watertown, Connecticut, November 2, 2015, Scale: 1"=30'", by the Office of Harry E. Cole & Son, a copy of which map has been recorded in the Watertown Land Records as Map #3759, more particularly described as follows:

Beginning at a point in the westerly line of Commercial Street, said point being the northeasterly corner of land now or formerly of Donald N. Vitale Trustee and the southeasterly corner of the within described parcel as shown on said map, thence running N86° 09' 20"W, along land now or formerly of Donald N. Vitale Trustee, 904.85 feet; thence N05° 14' 40"E, along land now or formerly of Heritage Woods, LLC, 19.46 feet; thence S86° 09' 20"E along land now or formerly of Heritage Woods, LLC, 360.80 feet; thence N04° 41' 10"E, along land now or formerly of Heritage Woods, LLC, 180.00 feet; thence S86° 07' 40"E along land now or formerly of PM Engineered Solutions, 543.16 feet; thence S04° 53' 50"W along Commercial Street, 160.30 feet; thence along a curve deflecting to the left and having a radius of arc of 530.22 feet, along Commercial Street, a distance of 38.91 feet to the point or place of beginning.

The above described parcel contains 115,221 square feet or 2.65 acres.

This property is shown on Watertown Tax Assessor Map: 159, Block: 45, Lot: 121.

BK = 1957 PG = 261
INST = 104243

Being the same premises conveyed to W.I.D.E., LLC by Warranty Deed from Ronald Brightman dated December 29, 2008 and recorded December 30, 2008 in Volume 1632, Page 194 of the Watertown Land Records.

Grantee herein assumes and agrees to pay real estate taxes on the Grand List of October 1, 2014, second half only, together with subsequent years not yet due and payable.

Said premises are subject to the following:

1. Building lines, if established and zoning ordinances, and any and all municipal and state and federal regulations including inland wetlands regulations and provisions of any public or private law affecting said premises.

2. Easement to The New Milford Power Company dated May 22, 1903 and recorded in Volume 32, Page 430 of the Watertown Land Records. See Transfer to Housatonic Power Company recorded in Volume 43, Page 262-3 of the Watertown Land Records. See Assignment to The Rocky River Power Company recorded in Volume 43, Pages 267-269 of the Watertown Land Records. See Certificate of Change of Name to The Connecticut Light & Power Company recorded in Volume 43, Page 543 of the Watertown Land Records. See Release and discharge of all of its right, title and interest to The Connecticut Light & Power Company dated March 30, 1989 and recorded in Volume 548 at Page 34 of the Watertown Land Records.

3. Drainage Easement as granted to State of Connecticut dated February 11, 1941 and recorded in Volume 95 at Pages 312-313 of the Watertown Land Records.

4. Easement to the Connecticut Light & Power Company dated July 18, 1960 and recorded August 4, 1960 in Volume 136 at Page 279 of the Watertown Land Records. See Assignment to Connecticut Railway & Lighting Company dated September 22, 1961 and recorded October 2, 1961 in Volume 140 at Page 23 of the Watertown Land Records.

5. 50 Foot Building Line from the westerly line of Commercial Street as contained in the deed recorded in Volume 140 at Page 132 of the Watertown Land Records.

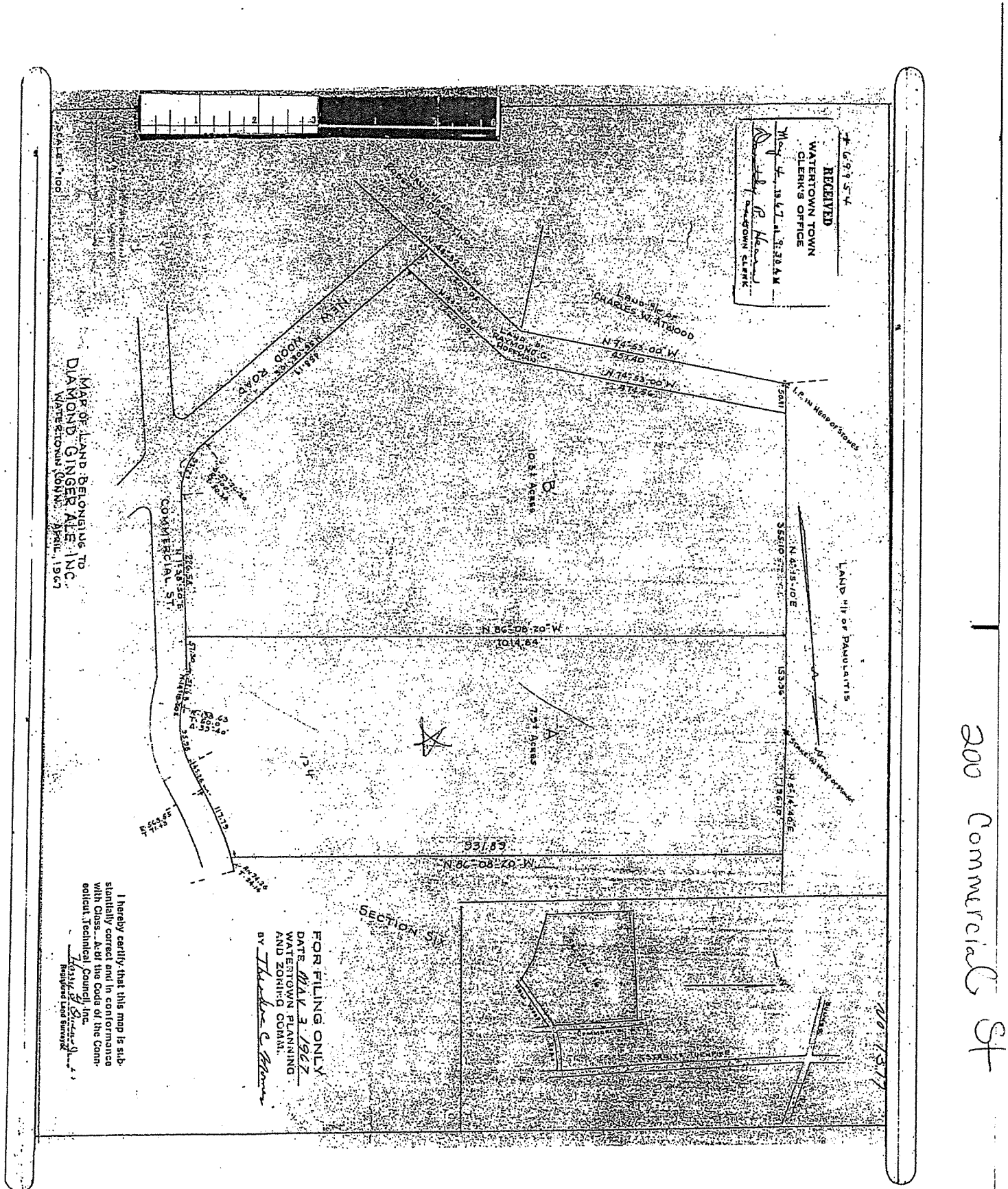
6. 30 Foot Right of Way over Lot "B", Berdon, Inc., thirty (30') feet on Commercial Street dated January 14, 1970, recorded January 19, 1970 in Volume 175 at Page 164 of the Watertown Land Records. Said thirty (30') foot right of way is shown on a map entitled, "Map Showing Redivision of Property Belonging to Berdon, Inc., Watertown, Conn., Scale 1"=60', June 1965" by Harry G. Owens, Jr., R.L.S. on file in Watertown Town Clerk's Office, Map #1293.

7. Drainage Easement from Lot C onto Lot B to a culvert presently in existence on the premises to Donald N. Vitale dated January 26, 1984 and recorded February 8, 1984 in Volume 353 at Page 87 of the Watertown Land Records.

BK= 1957 PG= 262
INST= 104243

- 8. Notice of Contest of Easement by Prescription and Notice of Building Encroachment dated September 15, 2009 and recorded in Volume 1672 at Page 197 of the Watertown Land Records.
- 9. Notice Under the Provisions of Connecticut General Statutes dated November 6, 2012 and recorded in Volume 1828 at Page 117 of the Watertown Land Records.
- 10. Notice of Bureau of Air Management Order on Land Records recorded April 22, 2013 in Volume 1849 at Page 294 of the Watertown Land Records.
- 11. Certificate of Compliance for Administrative Consent Order dated April 23, 2004 and recorded in Volume 1893 at Page 351 of the Watertown Land Records.

RECEIVED FOR RECORD
Nov 24, 2015 02:54:54P
Lisa M. Dalton
TOWN CLERK
WATERTOWN, CT



VODI ASSOC.
Deed

VOL 843 PAGE 123

WARRANTY DEED

KNOW YE, THAT THE JOHN D. THOMPSON HOSPICE INSTITUTE FOR EDUCATION, TRAINING AND RESEARCH, INC. f/k/a THE HOSPICE INSTITUTE FOR EDUCATION, TRAINING AND RESEARCH, INC., a Connecticut corporation located in the Town of Branford, County of New Haven and State of Connecticut (hereinafter referred to as the "Grantor") for the consideration of Eight Hundred Fifty Thousand Dollars (\$850,000.00) received to its full satisfaction of VODI ASSOCIATES, LLC, a Connecticut limited liability company located in the City of Waterbury, County of New Haven and State of Connecticut (hereinafter referred to as the "Grantee"), does give, grant, bargain, sell and confirm unto the said VODI ASSOCIATES, LLC, and unto its successors and assigns forever, that certain piece of parcel of land, with the buildings and improvements situated thereon, located in the City of Watertown, County of Litchfield and State of Connecticut, known as 200 Commercial Street, and more particularly bounded and described on Schedule A attached hereto and made a part hereof.

TO HAVE AND TO HOLD the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, and unto its successors and assigns forever, to its own proper use and behoof.

And also, the said Grantor does for itself and its successors and assigns, covenant with the said Grantee, and its successors and assigns, that at and until the ensealing of these presents, it is well seized of the premises, as a good indefeasible estate in FEE SIMPLE; and it has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as set forth on Schedule A.

And furthermore, the said Grantor does by these presents bind itself and its successors and assigns forever to WARRANT AND DEFEND the above granted and bargained premises to the said Grantee, and its successors and assigns, against all claims and demands whatsoever, except as set forth on Schedule A.

IN WITNESS WHEREOF, the Grantor has hereunto set its hand this 12th day of February, 1997. ^{\$850.00} CT Conveyance Tax Rec'd.
^{\$735.00} Conveyance Tax received

Signed, Sealed and Delivered
in the presence of:

Oscar Parente
OSCAR PARENTE

Stella C. Orsini
Town Clerk of Watertown
THE JOHN D. THOMPSON HOSPICE
INSTITUTE FOR EDUCATION, TRAINING
AND RESEARCH, INC. f/k/a THE
HOSPICE INSTITUTE FOR EDUCATION,
TRAINING AND RESEARCH, INC.

David F. Thayer

By David R. Goldfarb
David R. Goldfarb
Its Senior Vice President-Finance

VOL 843 PAGE 124

STATE OF CONNECTICUT)
COUNTY OF NEW HAVEN) ss: Waterbury

On this the 12th day of February, 1997, before me, Oscar M. Parente, the undersigned officer, personally appeared David R. Goldfarb, Senior Vice President - Finance of The John D. Thompson Hospice Institute for Education, Training and Research, Inc. f/k/a The Hospice Institute for Education, Training and Research, Inc., known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained as his free act and deed and the free act and deed of said corporation.

IN WITNESS WHEREOF, I hereunto set my hand.


Oscar M. Parente
Commissioner of the Superior Court

VOL 843 PAGE 125
Schedule A

All that certain piece or parcel of land, situated in the Town of Watertown, County of Litchfield, and State of Connecticut, on the westerly side of Commercial Street and the northerly side of New Wood Road, being shown as Parcel A on a map entitled "Map of Land Belonging to Diamond Ginger Ale, Inc., Watertown, Connecticut, April, 1967", Harry G. Owens, Jr., Surveyor, on file in the Watertown Town Clerk's Office, Map 1377 bounded and described as follows: Parcel "A" containing 7.9 acres more or less.

Commencing at a point in the westerly line of Commercial Street, 226.58 feet, northerly of the northerly end of a 100 foot radius curve connecting the northerly line of New Wood Road and the westerly line of Commercial Street. Thence N 86-08-20 W 1014.84 feet; thence N 4-15-10 E 153.96 feet; thence N 5-14-40 E 196.10 feet; thence S 86-08-20 E 931.89 feet; thence southerly along a 568.55 foot radius curve a distance of 117.79 feet; thence S 25-24-10 E 45.88 feet; thence southerly along a 138.63 foot radius curve a distance of 95.98 feet; thence S 14-15-50 W 52.68 feet; thence S 1-38-50 W 57.30 feet to the point of beginning, bounded:

NORTHERLY	By Section Six of Industrial Land of Raymond C. Hoffman;
EASTERLY	By Commercial Street;
SOUTHERLY	By remaining portion of Section 16;
WESTERLY	By land now or formerly of Panilaitis.

Together with such rights of passway as may exist for the construction, maintenance and operation of the sanitary sewer line and storm water sewer line as shown in a warranty deed dated April 11, 1967, and recorded in Volume 162 at Page 515 of the Watertown Land Records.

SUBJECT TO:

- (1) Building lines, if established, and any and all provisions of any building zone ordinance and planning ordinance enacted by the Town of Watertown, and any and all provisions of any ordinance, municipal regulation, or public or private law.
- (2) Pole Easement from William Hoffman to New Milford Power Company dated May 22, 1903 and recorded May 30, 1903 in Volume 32 at Page 430 of the Watertown Land Records. (may affect)
- (3) Easement from Raymond G. Hoffman to The Connecticut Light and Power Company dated July 18, 1960 and recorded August 4, 1960 in Volume 136 at Page 279 of the Watertown Land Records.

VOL 843 PAGE 126

Schedule A

- (4) Restrictions as set forth in a certain Warranty Deed from Raymond G. Hoffman to Diamond Ginger Ale, Inc. dated April 11, 1967 and recorded April 12, 1967 in Volume 152 at Page 515 of the Watertown Land Records. (... that neither Grantee, successors or assigns, shall construct any building within 50 feet from Westerly side of Commercial Street or within 50 feet from Northwesternly line of New Wood Road; and no portion to be used for sale of gasoline.)
- (5) Agreement between The Town of Watertown and Diamond Ginger Ale, Inc. dated November 20, 1967 and recorded November 21, 1967 in Volume 155 at Page 392 of the Watertown Land Records. (... sewer line connection on right of way running through said property ...)
- (6) Agreement between The Town of Watertown and Diamond Ginger Ale, Inc. dated November 20, 1967 and recorded November 21, 1967 in Volume 155 at Page 394 of the Watertown Land Records. (... to make a connection to the existing water main in Commercial Street, ...)
- (7) Taxes on the grand list of October 1, 1996, not yet due and payable.

WATERTOWN, CT.
TOWN CLERK'S OFFICE
RECEIVED RECORD

97 FEB 13 PM 1:31

John A. Rosa
TOWN CLERK

FRANKLIN G. PILICY*
FPilicy@prwpc.com

BENJAMIN A. SAAVEDRA*
BSaavedra@prwpc.com

KARA J. SUMMA
KSumma@prwpc.com



PILICY & RYAN, P.C.

ATTORNEYS AT LAW

www.PRWPC.com

235 Main Street

Watertown, Connecticut 06795

Phone (860) 274-0018

Fax (860) 274-0061

CHARLES A. RYAN*
CRyan@prwpc.com

JILLIAN A. JUDD
JJudd@prwpc.com

DONALD J. RINALDI, AS OF COUNSEL
**Also Admitted in MA*

May 26, 2026

SENT VIA HAND DELIVERY

Planning & Zoning Commission
Town of Watertown
61 Echo Lake Road
Watertown, CT 06795

**RE: Napoli Associates LLC
3 Harvard Street, Watertown, CT
Applications to Establish Planned Development District ("PDD")
(Regulations Section 4.6)**

Planning & Zoning Commission:

Napoli Associates, LLC ("Applicant") is the record owner of 3 Harvard Street, Oakville, CT ("Property").

Enclosed please find the following three (3) Applications to establish a PDD:

1. Zone Change Application in accordance with Regulations Section 4.6.1.C and Section 8.6;
2. Application for Planned Development District in accordance with Zoning Regulations Section 4.6.1(a) ("Master Plan");
3. Regulation Amendment Application in accordance with Regulations Section 4.6.D.1.b and Section 8.5.1.

If you have any questions or concerns, please contact the undersigned at your convenience.

PILICY & RYAN, P.C.

Franklin G. Pilicy, Esq.

FRANKLIN G. PILICY*
FPilicy@prwpc.com

BENJAMIN A. SAAVEDRA*
BSaavedra@prwpc.com

KARA J. SUMMA
KSumma@prwpc.com


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Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

CHARLES A. RYAN*
Cryan@prwpc.com

JILLIAN A. JUDD
JJudd@prwpc.com

JONATHAN R. CHAPPELL
JChappell@prwpc.com

DONALD J. RINALDI, AS OF COUNSEL
**Also Admitted in MA*

May 22, 2026

SENT VIA HAND DELIVERY

Planning & Zoning Commission
Town of Watertown
61 Echo Lake Road
Watertown, CT 06795

**RE: Regulation Amendment in Accordance with Regulations Section 4.6.D.1.b,
Regulations, Section 8.5.1**

**Napoli Associates LLC, 58 Pleasant Drive, Southbury, CT 06488
("Applicant")**

3 Harvard Street, Oakville ("Subject Property")

Watertown Planning & Zoning Commission,

This Regulation Amendment Application is filed in accordance with Section 4.6.D.1.b
and Section 8.5.1.

Attached please find:

1. Survey
2. Metes and Bounds Description
3. Proposed HOVPDD Regulation.

This Regulations Amendment is filed as part of the application proceedings for a PDD, in
accordance with the Master Plan Application being filed the same date. In addition, the Zone
Change Application is also being filed the same date.

If you have questions or concerns, please contact the undersigned at your earliest convenience.

PILICY & RYAN, P.C.

By: _____
Franklin G. Pilicy

**HARVARD OAKVILLE VILLAGE PLANNED DEVELOPMENT DISTRICT
{"HOVPDD"}**

PURPOSE: The purpose of the **HOVPDD** shall be to accommodate the redevelopment of the 3 Harvard Street Property located in the Oakville Center. The goal is to provide for the redevelopment of the existing building to accommodate twelve (12) residential dwellings.

The goal is to provide for the orderly redevelopment of the property. The redevelopment will compliment and integrate with the Oakville Center Community. The goal is to provide additional housing opportunities in accordance with the comprehensive plan of development.

The HOVPDD shall apply to the following Real Property:

“All that certain piece or parcel of land, with the buildings and improvements thereon, situated in the Town of Watertown, County of Litchfield and State of Connecticut, being shown as Lot #29, #30, #31 and #32 as shown on map entitled “Map of Property of Phyllis W. Monterose, Harvard St. – Yale St.- Main St. Watertown, Conn.” Dated June 18, 1992, prepared by Mattson Associates. Also being the same premises being shown as Lot #29, #30, #31 and #32 as shown on map entitled “MAP OF THE DAVIS HOMESTEAD LOCATED IN THE VILLAGE OF OAKVILLE WATERTOWN, CONN.” Dated June 13, 1902, Scale One Inch = 40 feet, prepared by Office of A.J. Patton, Surveyor, and recorded as Map No. 38 in the Watertown Town Clerk’s Office. Said premises being known as 3 Harvard Street, Oakville, Connecticut.”

PERMITTED USES: The following uses may be permitted subject to the Site Plan approval and compliance with the qualifying standards and other provisions of the POD Regulation.

- a. Twelve (12) Residential Dwelling Units

APARTMENT SUMMARY FIRST FLOOR (Revised 9-9-25)

Apartment 1	2 bedrooms	1 bath	958 sq. ft.
Apartment 2	2 bedrooms	1 bath	956 sq. ft.
Apartment 3	2 bedrooms	1 bath	1030 sq. ft.
Apartment 4	2 bedrooms	1 bath	1075 sq. ft.
Apartment 5	2 bedrooms	1 bath	956 sq. ft.
Apartment 6	2 bedrooms	1 bath	958 sq. ft.

APARTMENT SUMMARY SECOND FLOOR (Revised 9-9-25)

Apartment 7	2 bedrooms	1 bath	958 sq. ft.
Apartment 8	2 bedrooms	1 bath	956 sq. ft.
Apartment 9	2 bedrooms	1 bath	1100 sq. ft.
Apartment 10	2 bedrooms	1 bath	1145 sq. ft.
Apartment 11	2 bedrooms	1 bath	956 sq. ft.
Apartment 12	2 bedrooms	1 bath	958 sq. ft.

Attached please find preliminary draft of proposed PDD for the redevelopment of 3 Harvard Street. I will be updating the Application documents in anticipation of filing applications to be on the Agenda for the June 03, 2026 Planning and Zoning Commission Meeting. The May 06, 2026 Meeting of the Planning and Zoning Commission was cancelled due to lack of Quorum. I would like to get this Application filed on or before May 20 or May 21, 2026.

Accordingly we will need twelve (12) copies of the Survey and twelve (12) copies of the Site Plan.

FRANKLIN G. PILICY*
FPilicy@prwpc.com

BENJAMIN A. SAAVEDRA*
BSaavedra@prwpc.com

KARA J. SUMMA
KSumma@prwpc.com



PILICY & RYAN, P.C.

ATTORNEYS AT LAW

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JJudd@prwpc.com

JONATHAN R. CHAPPELL
JChappell@prwpc.com

DONALD J. RINALDI, AS OF COUNSEL
**Also Admitted in MA*

May 22, 2026

SENT VIA HAND DELIVERY

Planning & Zoning Commission
Town of Watertown
61 Echo Lake Road
Watertown, CT 06795

**RE: Zone Change Application in Accordance with Regulations Section 4.6.1.C
and Section 8.6**

**Napoli Associates LLC, 58 Pleasant Drive, Southbury, CT 06488
("Applicant")**

3 Harvard Street, Oakville ("Subject Property")

Watertown Planning & Zoning Commission,

This Zone Change Application is filed in accordance with Section 4.6.1.C and Section 8.6.

Attached please find:

1. Survey
2. Copy of Assessor Card
3. Copy of Deed
4. Statement of Consistency with the Town of Watertown Plan of Conservation and Development, effective January 19, 2018 ("Plan")

The Plan encourages development in areas with existing infrastructure and near transportation. The Plan calls for expansion of housing opportunities and choices (Plan Page 3-1).

The Plan calls for Expanded Housing Opportunities and design choices to accommodate a variety of household types and needs. (State of Connecticut Growth Management Principal, Plan Page 3-3).

The Plan recommends evaluating ways to make the zoning regulations less restrictive for multi-family developments in addition, the expansion of housing options for the Town's growing senior population is a priority of the Plan. (Watertown POCD Consistency Analysis, Plan Page 3-3).

The center of Oakville is categorized as a growth area. Growth areas are outlined in the regional future land use plan, generally aligned with the village density and medium density residential future land use categories. Such area is capable of accommodating such growth. Water and sewer infrastructure is provided, transit services are available (Growth Areas, Plan Page 3-4)

Goal 4: Diversify Watertown's Housing Stock to Support a Range of Incomes, Family Sizes, and Ages. Objective 4-1: Modify zoning and policies to encourage diversity and variety of housing to respond to Watertown's changing demographic trends. While Watertown's overall population has been stable over the last decade, there have been dramatic shifts in household composition that in turn impact demand for different types of housing. Compared to a decade ago, Watertown has fewer families with children, more people living alone, and more elderly residents. Watertown should continue diversify its housing stock in order to respond to these recent demographic changes. The Plan does not recommend expanding multi-family residential zones. However, consideration should be given to small scale multi-family "infill" developments and multi-family dwelling units in mixed-use settings. (Plan Page 4-11)

Consider modifying the zoning regulations to permit multi-family developments on properties less than three acres in size (Objective 4-1 Strategies and Action Items, Plan Page 4-11).

Subject Property

Location: 3 Harvard Street

Former Use: Retail

Map Block Lot: 133 213 4

Lot Area: .480 Acres

Zone: BC

Project Narrative

The proposed OVRPDD proposes 12 apartments:

Apartment Summary First Floor

Apartment 1	2 bedrooms	1 bath	958 sq. ft.
Apartment 2	2 bedrooms	1 bath	956 sq. ft.
Apartment 3	2 bedrooms	1 bath	1030 sq. ft.
Apartment 4	2 bedrooms	1 bath	1075 sq. ft.
Apartment 5	2 bedrooms	1 bath	956 sq. ft.
Apartment 6	2 bedrooms	1 bath	958 sq. ft.

* Apartment areas and configuration are subject to change. Areas are based on ‘living areas’ and exclude interior walls. Figures are approximate.

Apartment Summary Second Floor

Apartment 7	2 bedrooms	1 bath	958 sq. ft.
Apartment 8	2 bedrooms	1 bath	956 sq. ft.
Apartment 9	2 bedrooms	1 bath	1100 sq. ft.
Apartment 10	2 bedrooms	1 bath	1145 sq. ft.
Apartment 11	2 bedrooms	1 bath	956 sq. ft.
Apartment 12	2 bedrooms	1 bath	958 sq. ft.

* Apartment areas and configuration are subject to change. Areas are based on ‘living areas’ and exclude interior walls. Figures are approximate.

This Zone Change Application is filed as part of the application proceedings for a PDD, in accordance with the Master Plan Application being filed the same date. In addition, the Regulation Amendment Application is also being filed the same date.

If you have questions or concerns, please contact the undersigned at your earliest convenience.

PILICY & RYAN, P.C.

By: *FG*
Franklin G. Pilicy

The Assessor's office is responsible for the maintenance of records on the ownership of properties. Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2023.



Information on the Property Records for the Municipality of Watertown was last updated on 2/20/2025.

Property Summary Information

Parcel Data And Values

Building ▾

Outbuildings

Sales

Permits

Parcel Information

Location:	3 HARVARD ST	Property Use:	Retail	Primary Use:	Retail Store
Unique ID:	000194	Map Block Lot:	133 213 4	Acres:	0.4800
490 Acres:	0.00	Zone:	BC	Volume / Page:	2212/ 39
Developers Map / Lot:		Census:	3604		

Value Information

	Appraised Value	Assessed Value
Land	95,000	66,500
Buildings	526,500	368,550
Detached Outbuildings	22,400	15,680

	Appraised Value	Assessed Value
Total	643,900	450,730

Owner's Information

Owner's Data
NAPOLI ASSOCIATES LLC 58 PLEASANT DR SOUTHBURY, CT 06488

- Back To Search
- View Field Card
- Print View

Information Published With Permission From The Assessor

Unique ID: 000194

CARD NO. 1 OF 1

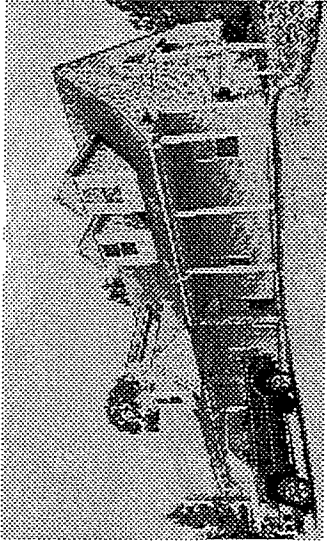
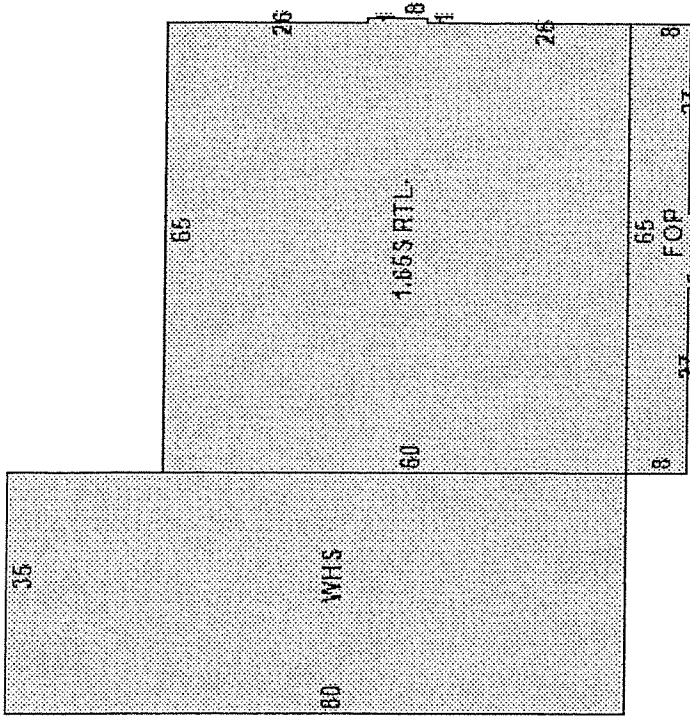
Location:		3 HARVARD ST		Map Id:	133 213 4		Zone:	BC		Date Printed:	2/21/2025	
				Neighborhood:		C140				Last Update:	2/20/2025	
Owner of Record				Volume/Page	Date	Sales Type				Valid	Sale Price	
IAPOLI ASSOCIATES LLC				2212/0039	9/10/2021	Warranty Deed				No	635,000	
8 PLEASANT DR, SOUTHBURY, CT 06488						Exempt:						
Prior Owner History												
HARVARD STREET LLC				1220/0028	7/28/2003					No	0	
KONNECTICUT HARDWARE LLC				0937/0024	3/11/1999					No	140,000	
Permit Number Date Permit Description												
0217		7/18/2002										
0205		7/16/2002										
Supplemental Data												
Consus/Tract		3604		VisionPID		194		Appraised Value				
Dev Map ID				Bath Remodeled				Total Land Value		95,000		
GIS ID				School District				Total Building Value		526,500		
Route				Kitchen Remodel				Total Outldg Value		22,400		
Utilities		Sewer, Public Water		490 App Date				Total Market Value		643,900		
State Item Codes												
Land Type		Acres		490		Total Value		Code		Quantity Value		
Primary Site		0.48		0.00		95,000		22-Commercial Building		1.00 368,550		
								21-Commercial Land		0.48 66,500		
								25-Commercial Outbuilding		2.00 15,680		
total 0.4800 0.00 95,000												
Assessment History (Prior Years as of Oct 1)												
2025		2024		2023		2022		2021		490 Appraised Totals		
Land		66,500		66,500		66,100		66,100		Acres Value Acres Value		
Building		368,550		368,550		356,800		356,800				
Outbuilding		15,680		15,680		8,400		8,400				
Total		450,730		450,730		431,300		431,300		Totals 0.00 0		
Application Date: Expiration Date:												
Comments												
/5/2019 DESTROYED BY FIRE RAISED 7/24/02 PRORATE 2018 KENECTICUT TRUE VALUE 35 X 80 CINDERBLOCK WHS, 18 FT CEILING HEIGHT 2018 IAV												
Information may be deemed reliable, but not guaranteed.												
Revaluation Date: 10/1/2023												

Unique ID: 000194

Location: 3 HARVARD ST

Unit

Commercial Building Description			Description	Area/Qty
Building Use	Retail		Base Value	6448
Class	Wood Frame		Central Air	6448
Overall Condition	Average/Good		Wet Sprinklers	6448
Construction Quality	C			
Stories	1.40			
Year Built	2003			
Remodel				
Percent Complete	100			
SLA		6448		
Basement				
Basement Area	0			
HVAC				
Heating Type	Forced Hot Air			
Fuel Type	Natural Gas			
Cooling Type	Central	Yr. Bld	Area/Qty	
		2003	2800	
Floors	Interior	2003	542	
Walls	Vinyl Tile/Concrete			
Wall Height	Masonry/Drivwall			
Exterior				
Exterior Walls	Vinyl Siding/Concrete Bloc			
Roof Type	Asphalt			
Roof Cover	Gable			
Special Features				
Sprinklers	Wet			8662



Detached Component Computations					
Type	Year	Condition	Area/Qty	Type	Year
Lights in W/PL	2003	Average	3		
Paving	1955	Average	10000		

Information may be deemed reliable, but not warranted

BK: 2212 PG: 39
INST: 127279

Return To:
Carmody Torrance Sandak & Hennessey LLP
707 Summer Street
Stamford, CT 06901

STATUTORY FORM WARRANTY DEED

GRANTOR, **HARVARD STREET, LLC**, a Connecticut Limited Liability Company having its principal place of business at 61 Keefe Street, Waterbury, CT 06706, for the consideration of SIX HUNDRED THIRTY-FIVE THOUSAND AND 00/100 (\$635,000.00) DOLLARS, grants to GRANTEE, **NAPOLI ASSOCIATES, LLC**, a Connecticut Limited Liability Company having its principal place of business at 58 Pleasant Drive, Southbury, CT 06488, all that certain property known as **3 Harvard Street** situated in the Town of Watertown (Oakville), County of Litchfield and State of Connecticut, more particularly described in Schedule A attached hereto and made a part hereof, with WARRANTY COVENANTS.

The remainder of this page intentionally left blank; signature page to follow:

CONVEYANCE TAX RECEIVED
STATE \$ 7937.50
TOWN \$ 1587.50
WATERTOWN TOWN CLERK

Signed this 2nd day of September, 2021.

Witnesses:

HARVARD STREET, LLC

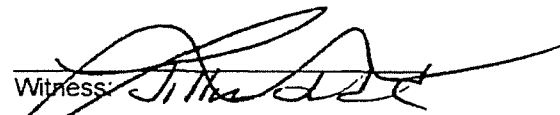


Witness.

BY



Kenneth Stanco, Its Managing Member
Duly Authorized



Witness:

STATE OF CONNECTICUT:

: ss. Watertown

COUNTY OF LITCHFIELD :

On this the 2ND day of September, 2021, before me, the undersigned officer, personally appeared, Kenneth Stanco, who acknowledged himself to be the Managing Member of Harvard Street, LLC, a Connecticut limited liability company, and that he, as such Managing Member, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by himself as Managing Member.

In Witness Whereof, I hereunto set my hand.



Franklin G. Pilicy
Commissioner of the Superior Court

GRANTEE ADDRESS
58 Pleasant Drive
Southbury, CT 06488

**SCHEDULE A
LEGAL DESCRIPTION**

**3 Harvard Street
Oakville (Watertown), Connecticut**

All that certain piece or parcel of land, with the buildings and improvements thereon, situated in the Town of Watertown, County of Litchfield and State of Connecticut, being shown as Lot #29, #30, #31 and #32 as shown on map entitled "Map of Property of Phyllis W. Monterose, Harvard St. - Yale St. - Main St. Watertown, Conn." Dated June 18, 1992, prepared by Mattson Associates. Also being the same premises being shown as Lot #29, #30, #31 and #32 as shown on map entitled "MAP OF THE DAVIS HOMESTEAD LOCATED IN THE VILLAGE OF OAKVILLE WATERTOWN, CONN." Dated June 13, 1902, Scale One Inch = 40 feet, prepared by Office of A.J. Patton, Surveyor, and recorded as Map No. 38 in the Watertown Town Clerk's Office.

Said premises being known as 3 Harvard Street, Oakville, Connecticut.

Said premises are further subject to:

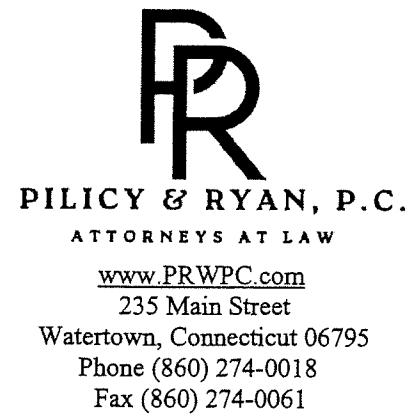
1. Building Lines, if established, and any and all provisions of any zoning or planning ordinance, wetland law or regulations and any and all provisions of any ordinance, regulation or public or private law, municipal, state or federal.
2. Grantee herein assumes and agrees to pay real estate taxes on the Grand List of October 1, 2020, first half due July 1, 2021 paid, second half due January 1, 2022, together with subsequent years not yet due and payable.
3. Notice of Variance granted by the Town of Watertown Zoning Board of Appeals dated October 3, 2002 and recorded May 6, 2003 in Volume 1192, Page 305 of the Watertown Land Records.

RECEIVED FOR RECORD
Sep 10, 2021 01:08:10P
Lisa M. Dalton
TOWN CLERK
WATERTOWN, CT

FRANKLIN G. PILICY*
FPilicy@prwpc.com

BENJAMIN A. SAAVEDRA*
BSaavedra@prwpc.com

KARA J. SUMMA
KSumma@prwpc.com



CHARLES A. RYAN*
CRyan@prwpc.com

JILLIAN A. JUDD
JJudd@prwpc.com

JONATHAN R. CHAPPELL
JChappell@prwpc.com

DONALD J. RINALDI, AS OF COUNSEL
**Also Admitted in MA*

May 22, 2026

SENT VIA HAND DELIVERY

Planning & Zoning Commission
Town of Watertown
61 Echo Lake Road
Watertown, CT 06795

RE: Application for Planned Development District in Accordance with Zoning Regulations Section 4.6.1(a.) ("MASTER PLAN")

Napoli Associates LLC, 58 Pleasant Drive, Southbury, CT 06488 ("Applicant")

3 Harvard Street, Oakville ("Subject Property")

Date of preliminary discussion with Planning and Zoning Commission: 03/05/2025

Proposed Planned Development District is Oakville Village Residential PDD ("OVRPDD")

Watertown Planning and Zoning Commission:

This Application shall constitute the overall MASTER PLAN for the proposed OVRPDD.

Section 4.6A Purpose: This Section of the Regulations is intended to permit modification of the strict application of the standards and provisions of these Regulations to accomplish the purposes set forth below:

1. Enable the development or redevelopment of specific areas in accordance with an overall Master Plan for such area in accordance with the Plan of Conservation and Development adopted in accordance with CGS Section 8-23, as may be amended.

2. Be flexible in order to allow for innovative design techniques, accommodate unique uses and/or encourage creative approaches to development or redevelopment.
3. Promote economic development in appropriate locations which will help meet community needs and be compatible with the community.
4. Result in a development that demonstrates a high regard for design and that is compatible with the historic cultural, and geographic qualities of Watertown.

Statement of Consistency with the Town of Watertown Plan of Conservation and Development, effective January 19, 2018 (“Plan”)

The Plan encourages development in areas with existing infrastructure and near transportation. The Plan calls for expansion of housing opportunities and choices (Plan Page 3-1).

The Plan calls for Expanded Housing Opportunities and design choices to accommodate a variety of household types and needs. (State of Connecticut Growth Management Principal, Plan Page 3-3).

The Plan recommends evaluating ways to make the zoning regulations less restrictive for multi-family developments in addition, the expansion of housing options for the Town’s growing senior population is a priority of the Plan. (Watertown POCD Consistency Analysis, Plan Page 3-3).

The center of Oakville is categorized as a growth area. Growth areas are outlined in the regional future land use plan, generally aligned with the village density and medium density residential future land use categories. Such area is capable of accommodating such growth. Water and sewer infrastructure is provided, transit services are available (Growth Areas, Plan Page 3-4)

Goal 4: Diversify Watertown’s Housing Stock to Support a Range of Incomes, Family Sizes, and Ages. Objective 4-1: Modify zoning and policies to encourage diversity and variety of housing to respond to Watertown’s changing demographic trends. While Watertown’s overall population has been stable over the last decade, there have been dramatic shifts in household composition that in turn impact demand for different types of housing. Compared to a decade ago, Watertown has fewer families with children, more people living alone, and more elderly residents. Watertown should continue diversify its housing stock in order to respond to these recent demographic changes. The Plan does not recommend expanding multi-family residential zones. However, consideration should be given to small scale multi-family “infill” developments and multi-family dwelling units in mixed-use settings. (Plan Page 4-11)

Consider modifying the zoning regulations to permit multi-family developments on properties less than three acres in size (Objective 4-1 Strategies and Action Items, Plan Page 4-11).

Subject Property

Location: 3 Harvard Street
Former Use: Retail
Map Block Lot: 133 213 4
Lot Area: .480 Acres
Zone: BC

Project Narrative

The proposed OVRPDD proposes 12 apartments:

Apartment Summary First Floor

Apartment 1	2 bedrooms	1 bath	958 sq. ft.
Apartment 2	2 bedrooms	1 bath	956 sq. ft.
Apartment 3	2 bedrooms	1 bath	1030 sq. ft.
Apartment 4	2 bedrooms	1 bath	1075 sq. ft.
Apartment 5	2 bedrooms	1 bath	956 sq. ft.
Apartment 6	2 bedrooms	1 bath	958 sq. ft.

* Apartment areas and configuration are subject to change. Areas are based on ‘living areas’ and exclude interior walls. Figures are approximate.

Apartment Summary Second Floor

Apartment 7	2 bedrooms	1 bath	958 sq. ft.
Apartment 8	2 bedrooms	1 bath	956 sq. ft.
Apartment 9	2 bedrooms	1 bath	1100 sq. ft.
Apartment 10	2 bedrooms	1 bath	1145 sq. ft.
Apartment 11	2 bedrooms	1 bath	956 sq. ft.
Apartment 12	2 bedrooms	1 bath	958 sq. ft.

* Apartment areas and configuration are subject to change. Areas are based on ‘living areas’ and exclude interior walls. Figures are approximate.

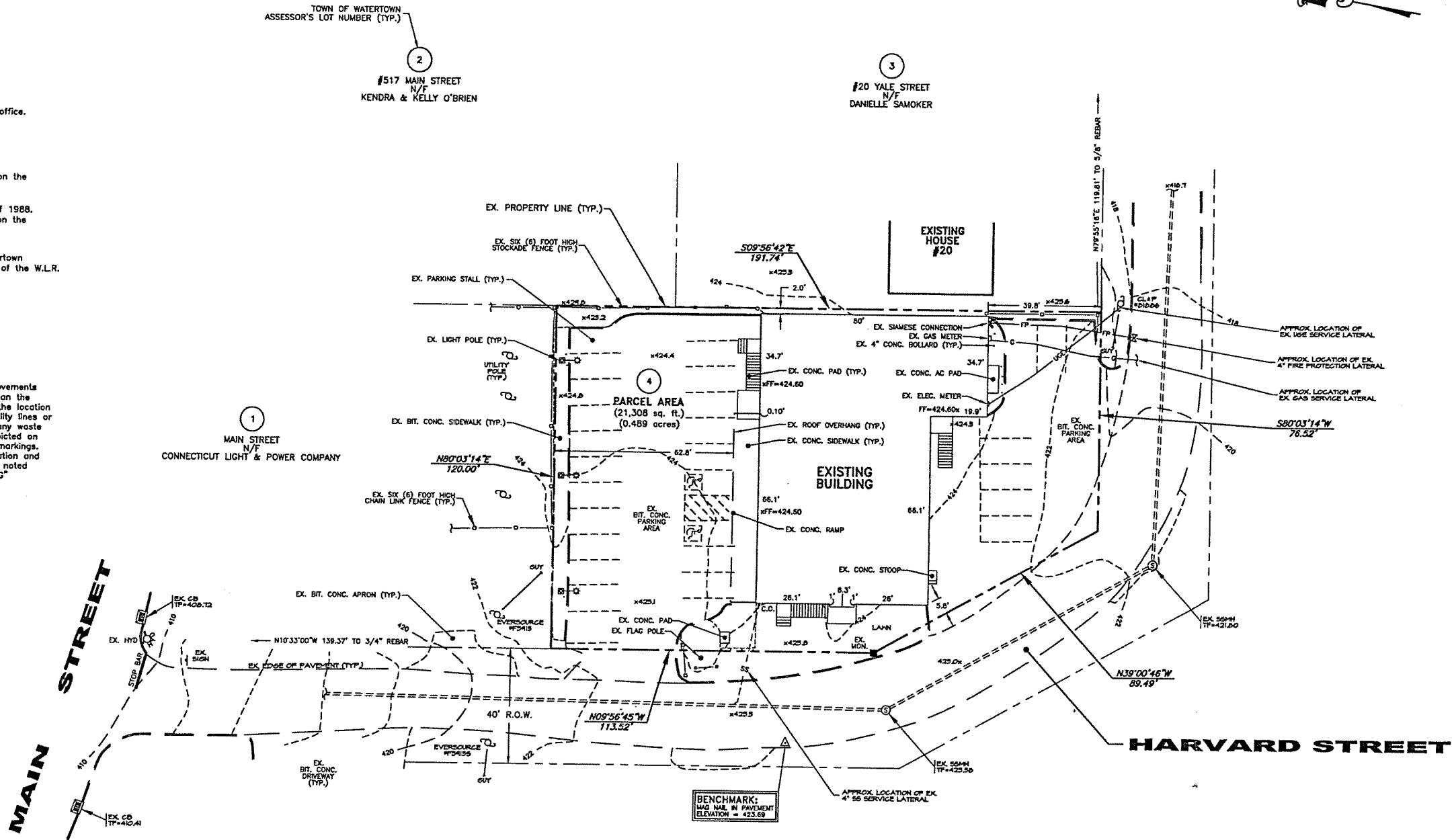
SITE PLAN – ATTACHED

Architectural attached

NAPOLI ASSOCIATES, LLC
By: 
Franklin G. Pilicy,

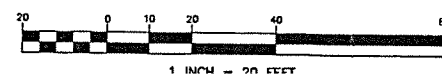
NOTES:

- This map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on August 29, 2019.
• Type of Survey: Property & Topographic
• Boundary Determination Category: Resurvey
• Class of Accuracy: A-2, T-2
- The intent of this map is to depict the property lines, topography and existing improvements within #3 Harvard Street parcel with respect to applicable municipal requirements.
- Zone: (B-C) Oakville Central Business District.
- Total Area of Parcel = 21,308 square feet or 0.489 acres.
- Owner of Parcel: Napoli Associates, LLC.
- Town of Watertown Assessor's Map #133, Block #213 and Lot #4.
- Filed in Volume 2212, Page 39 of the Town of Watertown clerk's office.
- Survey was conducted in the field on March 30, 2026 by David A. Hughes, P.E., L.S.
- Horizontal datum is based on the North American Datum of 1983. Datum obtained on March 12, 2026 with static GPS observations on the Connecticut Network (ACORN), utilizing a Carlson BRx7 receiver.
- Vertical datum is based on the National Geodetic Vertical Datum of 1988. Datum obtained on March 12, 2026 with static GPS observations on the Connecticut Network (ACORN), utilizing a Carlson BRx7 receiver.
- A variance was granted to the subject parcel by the Town of Watertown Zoning Board of Appeals and recorded in Volume 1192, Page 305 of the W.L.R.
- Contour interval is two (2) feet.
- All monumentation found or set is depicted or noted hereon.
- This property is subject to any and all local, state and federal ordinances, statutes, rules and/or regulations, restrictions, public or private law or easement(s), or claims of adverse possession which may affect the premises.
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris, other than the piping depicted as being "As-Built". This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The subsurface utility locations depicted on this survey have been interpreted from visible evidence or pointed markings. However, the indicated existing utilities are based on limited information and all utilities may not be shown. The underground items depicted or noted are approximate and not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.
- Map References:
A.) Map #38 filed in the Watertown Land Records.
B.) Map #3070 filed in the Watertown Land Records.
C.) "Foundation As-Built Map, Lots 29, 30, 31 & 32, The Davis Homestead, Harvard Street, Watertown, Connecticut, Prepared For, Keneticut Hardware, LLC, Dated 3/3/03, Scaled 1"=20', by Land-Data Engineers".
D.) "Site Plan, Lots 29, 30, 31 & 32, The Davis Homestead, Harvard Street, Watertown, Connecticut, Prepared For, Keneticut Hardware, LLC, Dated 7/02, Scaled 1"=20', by Land-Data Engineers".



GENERAL LEGEND

Ex. 10' Contours	---000---	Gas Main	---G---	Ex. 'C' Catch Basin	
Ex. 2' Contours	---000---	Force Main	---FM---	Ex. 'C-L' Catch Basin	
Ex. Spot Elevation	+000.0	Underground Electric	---UCE---	Ex. Drainage Manhole	
Ex. Edge of Pavement	=====	Underground Telecom	---TEL---	Ex. Drainage Pipe	=====
Ex. Bit. Cursing	=====	Unknown Underground Utility	---U---	Ex. Sanitary Manhole	
Ex. Concrete Cursing	=====	Underground Traffic Control	---T---	Ex. Sanitary Pipe	=====
Ex. Granite Cursing	=====	Wire Fence	---X---	Ex. Utility Box	
Ex. Well		Chain Link Fence	---O---	Ex. Utility Pole	
Ex. Water Valve		Stockade Fence	---O---	Ex. Parking Lot Light	
Ex. Fire Hydrant		Stonewall	=====	Ex. Soil Boring	
Ex. Gas Valve		Tree Line		Overhead Electric	---OHE---
Ex. Traffic Sign		Deciduous Tree		Water Main	---W---
Ex. Monitoring Well		Coniferous Tree			



To the best of my knowledge and belief, this map is substantially correct as noted hereon.
DAVID A. HUGHES, L.S.
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HEREIN

PROPERTY & TOPOGRAPHIC SURVEY
#3 HARVARD STREET
OAKVILLE, CT
PREPARED FOR
NAPOLI ASSOCIATES, LLC

REVISIONS	DATE	BY
1		
2		
3		
4		
5		
6		

DRAWN BY: DAH
DATE: 03/31/26
SCALE: 1"= 20'
APPROVED BY: DAH

DAVID A. HUGHES
PROFESSIONAL
ENGINEER &
LAND SURVEYOR
57 NORWAY STREET
OAKVILLE, CT 06779
(860) 861-7463

PROJECT NO.
0421
DWG. NO.
51

MASTER PLAN & SITE PLAN

FOR

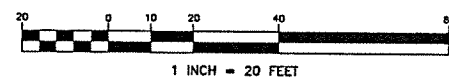
#3 HARVARD STREET
OAKVILLE, CT

PREPARED FOR
NAPOLI ASSOCIATES, LLC

PREPARED BY

DAVID A. HUGHES
PROFESSIONAL ENGINEER & LAND SURVEYOR
57 NORWAY STREET
OAKVILLE, CT 06779 (860) 681-7483

MAY 15, 2026
REVISED JULY 15, 2026
SCALE: 1"=20'



MAIN STREET
N/F
CONNECTICUT LIGHT & POWER COMPANY

MAIN STREET

1. PROPOSED ZONE IS (PDD) PLANNED DEVELOPMENT DISTRICT.
2. UNDERLYING ZONE IS: (B-C) OAKVILLE CENTRAL BUSINESS DISTRICT.
3. PRESENT USE: VACANT RETAIL/COMMERCIAL.
4. PROPOSED USE: MULTI-FAMILY DWELLING.

ZONING DATA

ZONE IS (B-C) - OAKVILLE CENTRAL BUSINESS DISTRICT

	REQUIRED	EXISTING	PROPOSED - PDD
MINIMUM LOT AREA	NO MINIMUM	21,308 SF	21,308 SF
MINIMUM LOT FRONTAGE	NO MINIMUM	279.53'	279.53'
MINIMUM FRONT YARD SETBACK:			
ABUTTING A NON-RESIDENTIAL DISTRICT	NO MINIMUM	5.8'	NO MINIMUM
ABUTTING A RESIDENTIAL DISTRICT	NO MINIMUM	N/A	N/A
MINIMUM REAR YARD SETBACK:			
ABUTTING A NON-RESIDENTIAL DISTRICT	NO MINIMUM	2.0'	1.5'
ABUTTING A RESIDENTIAL DISTRICT	35'	N/A	N/A
MINIMUM SIDE YARD SETBACK:			
ABUTTING A NON-RESIDENTIAL DISTRICT	NO MINIMUM	62.8'	40'
ABUTTING A RESIDENTIAL DISTRICT	35'	N/A	N/A
ALLOWABLE PROJECTION	2'	N/A	2'
MINIMUM BUILDING SEPARATION	5'	N/A	N/A
MINIMUM PARKING/LOADING SETBACKS			
FRONT YARD:			
ABUTTING A NON-RESIDENTIAL DISTRICT	NO MINIMUM	0'	NO MINIMUM
ABUTTING A RESIDENTIAL DISTRICT	35'	N/A	N/A
SIDE AND REAR YARD:			
ABUTTING A NON-RESIDENTIAL DISTRICT	NO MINIMUM	2'	NO MINIMUM
ABUTTING A RESIDENTIAL DISTRICT	35'	N/A	N/A
BUILDING COVERAGE	75%	34.6%	40%
IMPERVIOUS COVERAGE	90%	90.1%	90%
MAXIMUM FLOOR AREA RATIO	2.0	0.32	0.70
MAXIMUM BUILDING HEIGHT (IN STORIES)	4	1	2
MAXIMUM BUILDING HEIGHT (IN FEET)	50'	28'	38'

PARKING REQUIREMENTS:

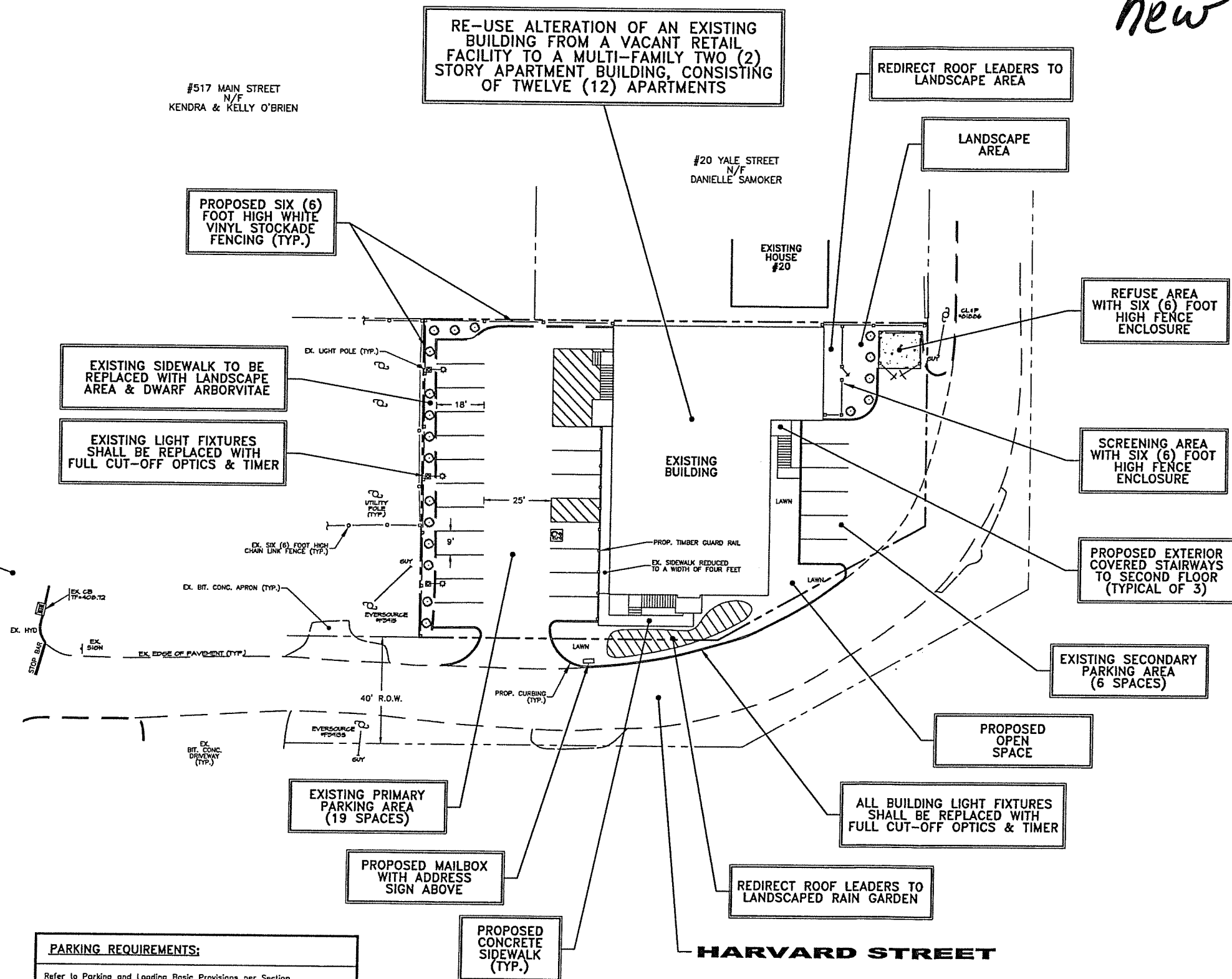
Refer to Parking and Loading Basic Provisions per Section 6.2, of the Watertown Zoning Regulations.

RESIDENTIAL PARKING SPACE CALCULATION:

- 1.) TWO BEDROOM DWELLING UNITS (2 SPACES/UNIT)
- 2.) TWELVE, TWO BEDROOM DWELLING UNITS PROPOSED = 24 SPACES

TOTAL # OF SPACES REQUIRED = 24

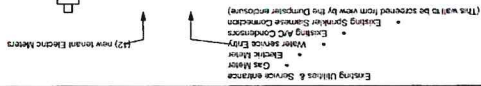
TOTAL # OF SPACES PROVIDED = 25 (INCLUDING 1 H/C)



011 - 7426



(POINT PLANKING)



GLASS BLOCK
Borrowed light,
typical along the
property line

EXTERIOR ELEVATION

- | | |
|---|----------------------------------|
|  | Existing Exterior Framed Wall |
|  | New Interior Placed walls |
|  | Loose Furniture |
|  | Built-in Cabinetwork |
|  | Flanking fixtures |
|  | Existing brick wall |
|  | 1 The Glass Block borrowed light |

EXTERIOR ELEVATIONS ARE FOUND ON SHEETS A.3 & A.4

- the project is an adaptive reuse of an existing apartment building consisting of 12 apartments. One apartment is vacant, mainly due to a rental vacancy problem in the area. The building is located on the corner of 12th Avenue and 13th Street, and the building footprint is 120' x 100'. The building is a three-story building with a flat roof. The building is currently occupied by 11 apartments. The building is in good condition and has a long history of successful operation. The building is located in a prime location, with easy access to public transportation and major roads. The building is surrounded by other commercial and residential buildings. The building is a good example of a successful adaptive reuse project.

SUBJECT NARRATIVE

APARTMENT SUMMARY FIRST FLOOR (Revised 9-9-25)

Apartment 1	2 bedrooms	1 Bath	950 sq. ft.
Apartment 2	2 bedrooms	1 Bath	956 sq. ft.
Apartment 3	2 bedrooms	1 Bath	1,030 sq. ft.
Apartment 4	2 bedrooms	1 Bath	1,075 sq. ft.
Apartment 5	2 bedrooms	1 Bath	956 sq. ft.
Apartment 6	2 bedrooms	1 Bath	950 sq. ft.

Apartment areas & configuration are subject to change. Areas are based on living areas¹ & exclude interior walls. Figures are approximate.

APARTMENT SUMMARY FIRST FLOOR (Revised 9-9-25)

I·V

3 Harvard Street
Oakville Ct

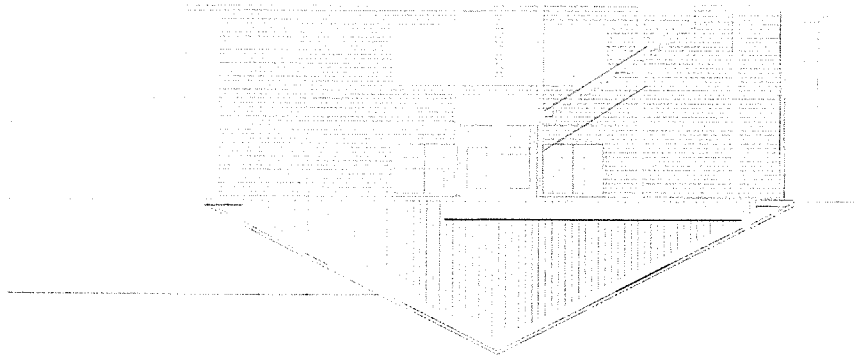
SOMEONE
FIRST FLOOR
FURNITURE
PLAN

DATE	AS TO
PAY BY	

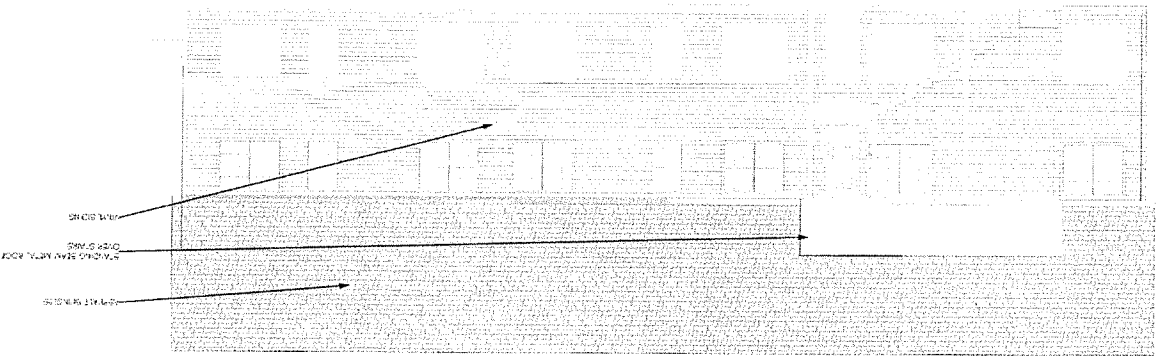


WBEF, Inc.
CT LLC
CT 0679
03-4924

ELEVATION 'B'
NORTH SIDE SCALE: 1/8" = 1'-0"



ELEVATION 'A'
NORTH SIDE SCALE: 1/8" = 1'-0"



A.3

3 Harvard Street
Oxford Ct
Main Family Addition
Re-Use Addition

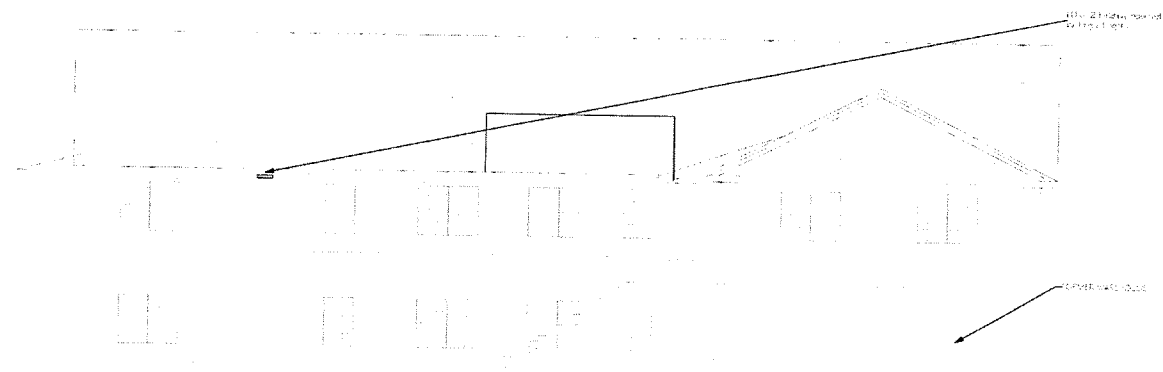
ELEVATION

REAR SIDE

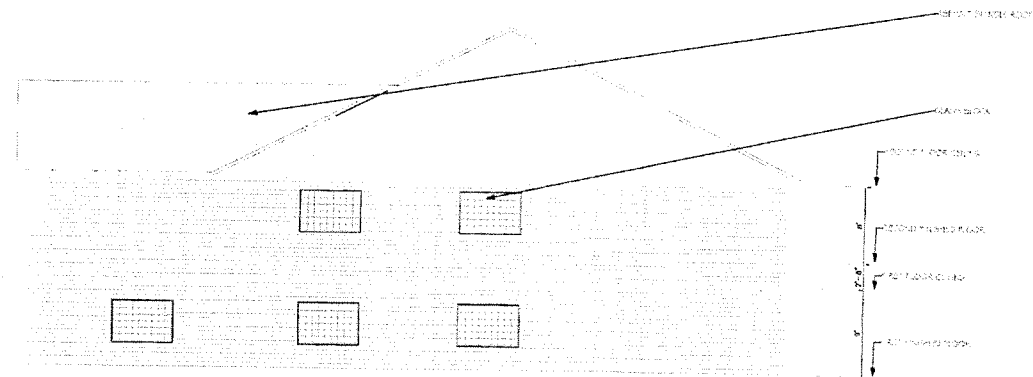
DOOR



DAVID H. ROBINSON
ARCHITECT
1037 Main Street
Worcester, MA 01609
TEL: 508-853-0144
FAX: 508-853-0145



ELEVATION 'C'



ELEVATION 'D'

ARCHITECT
JAN WILCOX LLC
1000 W. 10TH AVE.
DENVER, CO 80202
TEL: 303.733.4444



DATE: 04/10/10

SCALE

DATE OF ELEVATION

31 Harvard Street
Oakville, Ct
Multi Family Adaptive
Re-Use Alteration

A.4



Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org

SITE PLAN APPROVAL (SA) / SPECIAL PERMIT (SP)

Applicant Information

Name: D, G + P REALTY, LLC

Address: 465 STRAITS TURNPIKE
WATERTOWN, CT 06795

Email: tom@dplawct.com Phone #: 860 945 6600

Print Name: THOMAS PETTINICCHI

Signature of Applicant: _____ Date: _____

Owner Information

Name: D, G + P REALTY, LLC

Address: 465 STRAITS TURNPIKE
WATERTOWN CT 06795

Email: tom@dplawct.com Phone #: 860 945 6600

Print Name: THOMAS PETTINICCHI

Signature of Owner: _____ Date: _____

Location of Property:

Address: 465 STRAITS TURNPIKE, WATERTOWN, CT 06795

Zone RT Non-conforming? Yes / ☒ No Map 153 Block 98 Lot 3

Description of Existing Use/ Property

Type Of Use PROFESSIONAL OFFICE

Size of Property: 1.9 ACRES

Number of Buildings/ Sq Ft approximately: 1-BLDG / APPROX 4500 sq. ft

Number of parking spaces: 21

Other important features: _____

Signage (# of signs & square feet) provide a cut sheet or sketch: 1-SIGN; 8 sq. ft.

Description of Proposed Use
 Uses: Professional Office
 Number of Buildings/ Sq Ft approximately: 1-BLDG. / Approx. 5600 sq. ft
 Number of parking spaces: 21
 Signage (# of signs & square feet) provide a cut sheet: EXISTING SIGN TO REMAIN

Number of Employees 11

Professional Engineer/ Surveyor
 Name: _____
 Address: _____

 Email: _____
 Phone: _____

Fees

An additional \$60 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

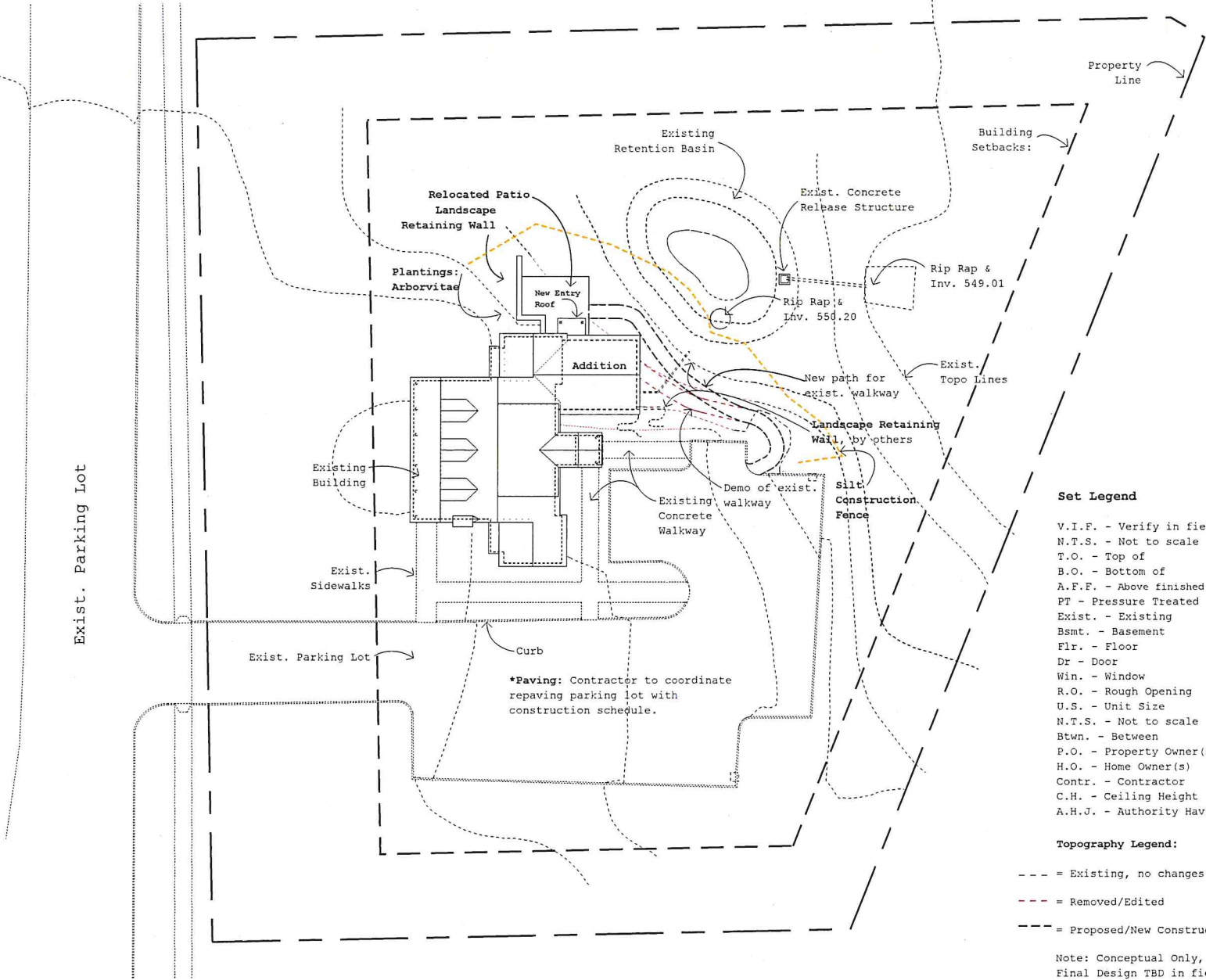
Residential	\$250
Multi-family dwellings or Non- residential use	
Value less than\$100,000	\$500
Value \$100,000 to \$500,000	\$1,000 +60
Value more than \$500,000	\$1,000 plus \$200 for each
\$100,000 value	

Special permits or special exception (in addition to the application fee and site plan fee)

Residential	\$150	\$1,060
Non-Residential	\$250	\$235
Excavation of fill materials		\$1,295
Less than 1,000 cubic yards	\$500	
1,000 to 49,999 cubic yards	\$1,000	
50,000 to 99,999 cubic yards	\$2,000	
100,000 or more cubic yards	\$4,000	

Project:
D'Amico Pettinicchi Injury Lawyers
465 Straits Turnpike, Watertown, CT 06795

Design Scope:
- Two-Story Addition to the rear of an existing building
that houses a lawyer office.

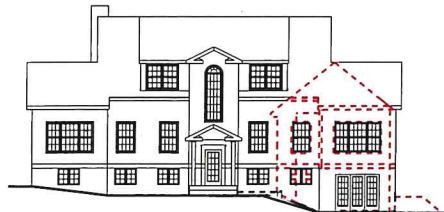


Architectural Site Plan - Roof Plan
1"=20'-0"

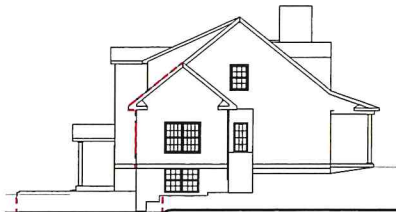
Site info (property lines, topo, existing conditions) per "As-Built Site Plan," Meyers Associates P.C., 6/18/1999. Not field-verified.

- Set Legend**
- V.I.F. - Verify in field
 - N.T.S. - Not to scale
 - T.O. - Top of
 - B.O. - Bottom of
 - A.F.F. - Above finished floor
 - PT - Pressure Treated
 - Exist. - Existing
 - Bsmt. - Basement
 - Flr. - Floor
 - Dr - Door
 - Win. - Window
 - R.O. - Rough Opening
 - U.S. - Unit Size
 - N.T.S. - Not to scale
 - Btwn. - Between
 - P.O. - Property Owner(s)
 - H.O. - Home Owner(s)
 - Contr. - Contractor
 - C.H. - Ceiling Height
 - A.H.J. - Authority Having Jurisdiction
- Topography Legend:**
- = Existing, no changes
 - - - = Removed/Edited
 - - - = Proposed/New Construction
- Note: Conceptual Only,
Final Design TBD in field

Topography Design: See Sheet
A-3 for enlarged topography
diagram



East Elevation - Looking West - Exist.
1/16"=1'-0"



North Elevation - Looking South - Exist.
1/16"=1'-0"



South Elevation - Looking North - Exist.
1/16"=1'-0"

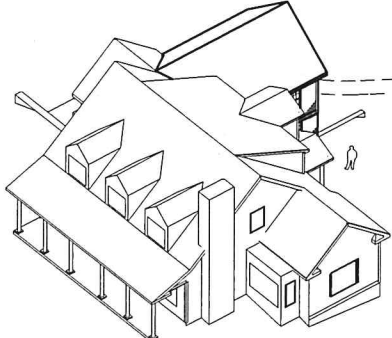
- Legend:**
- = Existing, no changes
 - = Proposed/New Construction
 - - - = Remove/Demo
- Note: Bold Room labels represent
areas of changes



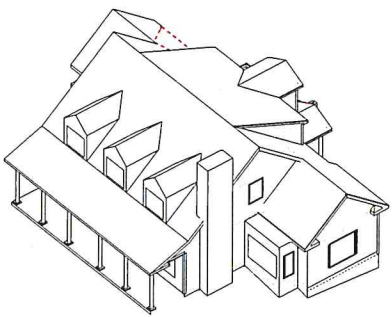
Axon - Looking NE - Proposed
1/16"=1'-0"



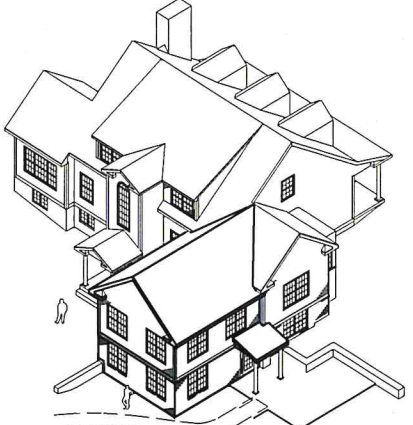
Axon - Looking NE - Exist.
1/16"=1'-0"



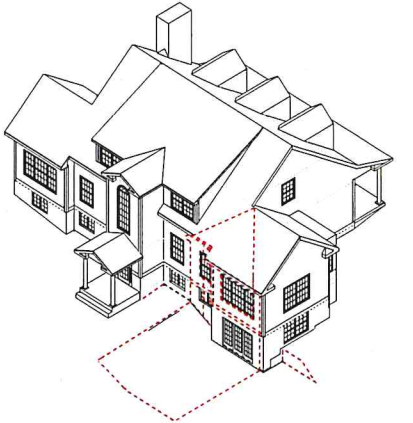
Axon - Looking NE - Proposed
1/16"=1'-0"



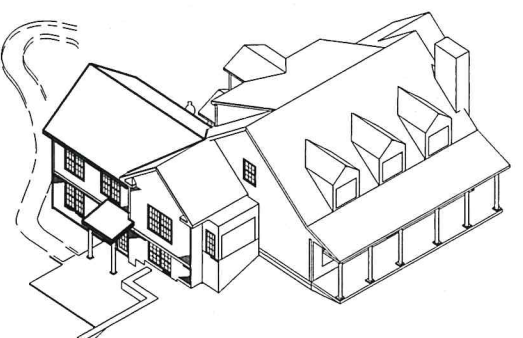
Axon - Looking NE - Exist.
1/16"=1'-0"



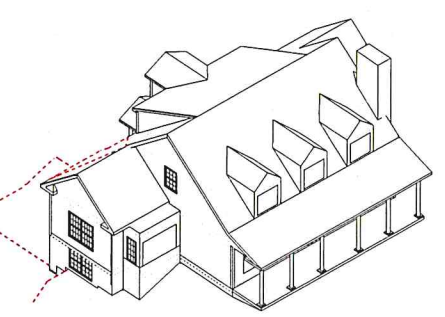
Axon - Looking SW - Proposed
1/16"=1'-0"



Axon - Looking SW - Exist.
1/16"=1'-0"



Axon - Looking SE - Proposed
1/16"=1'-0"



Axon - Looking SE - Exist.
1/16"=1'-0"

Architect of Record -
Leila Colbert
Architecture LLC
425 West 43rd Street, Apt 1
New York, NY 10036
E: leila.colbert@gmail.com

Project Description:
- Two-Story Addition
to the rear of an
existing building
that houses a lawyer
office.

Project/Owners(s)/Contact
Commercial **ADDITION** for:
D'Amico Pettinicchi Injury Lawyers
Contact: Jeremy D'Amico;
jeremy.h.damico@gmail.com / 203 206 0552
Project Address:
465 Straits Turnpike, Watertown, CT 06795

No.	Date	Issue Status
1	July 20, 2026	CD Construction Documentation Set

CD Set

A-1
(1-7)

Project -

D'Amico Pettinicchi Injury Lawyers
465 Straits Turnpike, Watertown, CT
06795

Existing Building (Built 2001):

Basement: 1,767 sf | 1st Flr: 1,875
sf | 2nd Flr: 1,393 sf | Total: 5,035
sf

Addition: Basement: 467 sf | 1st Flr:

467 sf | 2nd Flr: 0 sf | Total: 934
sf

Totals (Post-Addition): Basement:

2,234 sf | 1st Flr: 2,342 sf | 2nd
Flr: 1,393 sf | Total: 5,969 sf

Code Analysis:

D'AMICO PETTINICCHI INJURY LAWYERS - ADDITION
465 Straits Turnpike, Watertown CT|Exist. Bldg 2001

APPLICABLE CODES & STANDARDS

-2022 Connecticut State Building Code (adopts 2021 IBC)
-2022 Connecticut Fire Safety Code (NFPA 1 & 101)
-2021 International Existing Building Code
-2022 Connecticut Energy Code
-ICC A117.1 Accessibility Standards
-ADA 2010 Standards for Accessible Design

OCCUPANCY: GROUP B (Business), IBC 304.1

CONSTRUCTION TYPE (presumed): V-B, wood frame

AREA (sf, architectural)

	EXIST.	ADD'N	PROP.
Basement	1,767	467	2,234
1st Flr	1,875	467	2,342
2nd Flr	1,393	0	1,393
TOTAL	5,035	934	5,969

OCCUPANT LOAD (150 gross sf/occ., Tbl 1004.5)

Bsmt 15 | 1st 16 | 2nd 10 | TOTAL 41

EGRESS:

-First Floor & Basement (Addition): New addition adds 467
sf per floor with 3-5 new occupants per floor. Basement
egress: 1 exit required/1 provided. First floor: 1
required/2
provided. Building complies with IBC egress requirements.

-Second Floor (Existing - No Changes): Existing second
floor with 10 occupants served by
single stair. Complies with IBC single-exit allowance (OL
≤29). No upgrades required- this story is not being
altered.

SPRINKLERS not req'd (<12,000 sf) - VOLUNTARY

REC'D

PLUMBING (Tbl 2902.1, OL 41): 2 WC / 2 Lav / 1 DF / 1 SS
IEBC PATH: 934/5,035 = 18.5% < 25% -> PRESCRIPTIVE METHOD

PLUMBING: Existing building provides 4 bathrooms (1 Bsmt
ADA, 2 on 1st Flr, 1 on 2nd Flr). For 41 occupants (OL),
code requires min. 3 WC/3 Lav. Existing exceeds
requirement. No new plumbing fixtures required for
addition.

CODE TRIGGERS FOR FURTHER ADDITIONS (headroom)

IEBC Work Area Method - +325 sf addn <-- tightest
3rd WC required (OL > 50) - +1,350 sf
2 exits req'd on a story - ~2,000 sf on that flr
Mandatory sprinklers (12,000/sy) - +9,658 sf/story
V-B allowable area (9,000/sy) - +6,658 sf on lgst story

EXIST. EXTERIOR ACCESSIBLE WALKWAY - MAINTAIN AS-IS

(ADA 302/403, A117.1, IBC 1010/1015)

Existing single wayside rail acceptable to remain
provided all of the following are preserved during
construction:

SLOPE: running ≤ 1:20 (5%) / cross ≤ 1:48 (2%)
NOTE: > 1:20 = RAMP (triggers full handrails
both sides + edge prot. + landings, A117.1 405)
SURFACE: firm, stable, slip-resistant; joints flush,
level changes ≤ 1/4" (or 1/2" bev. 1:2)
WIDTH: ≥ 36" clear
HEIGHT: walking surface < 30" above adj. grade
(≥ 30" = 42" guard req'd, IBC 1015, 4" sphere)

Any grading, paving, or rail work shall match or improve
these conditions. Do not reduce existing slope
compliance,
surface quality, or rail continuity.

Subject to AOR, Building Official & Fire Marshal review.

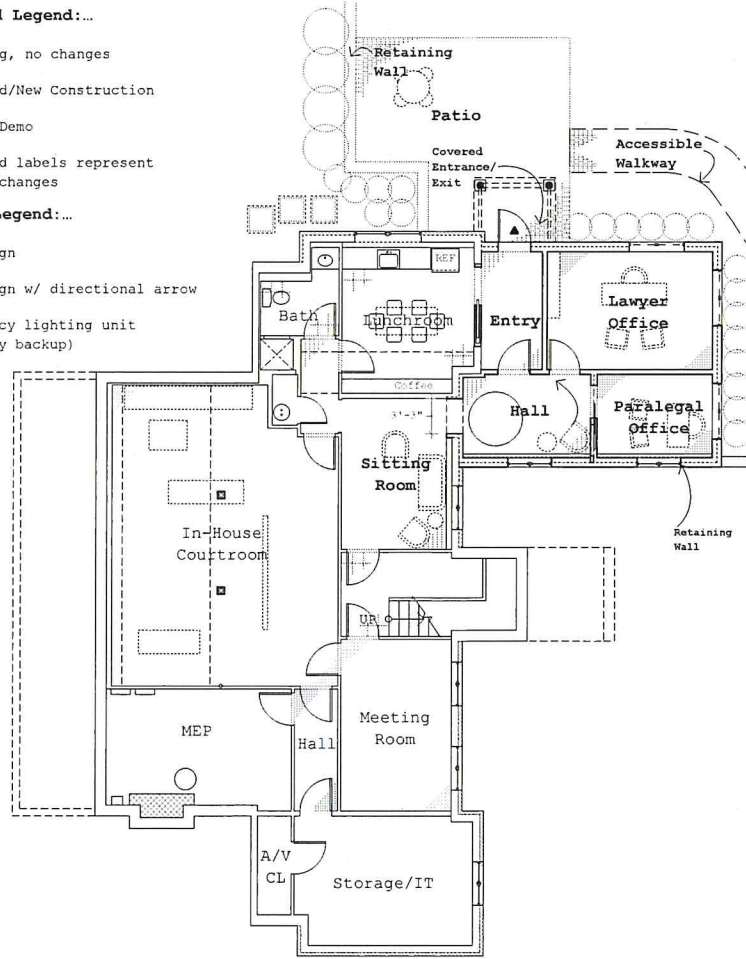
Demo/Proposed Legend:...

- = Existing, no changes
- = Proposed/New Construction
- - - = Remove/Demo

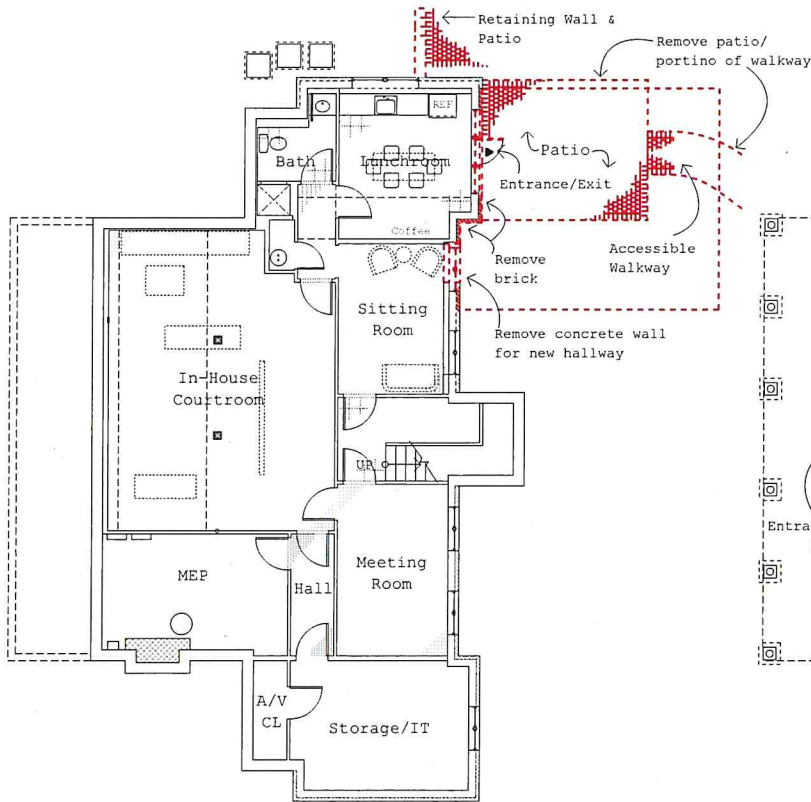
Note: Bold labels represent
areas of changes

Life Safety Legend:...

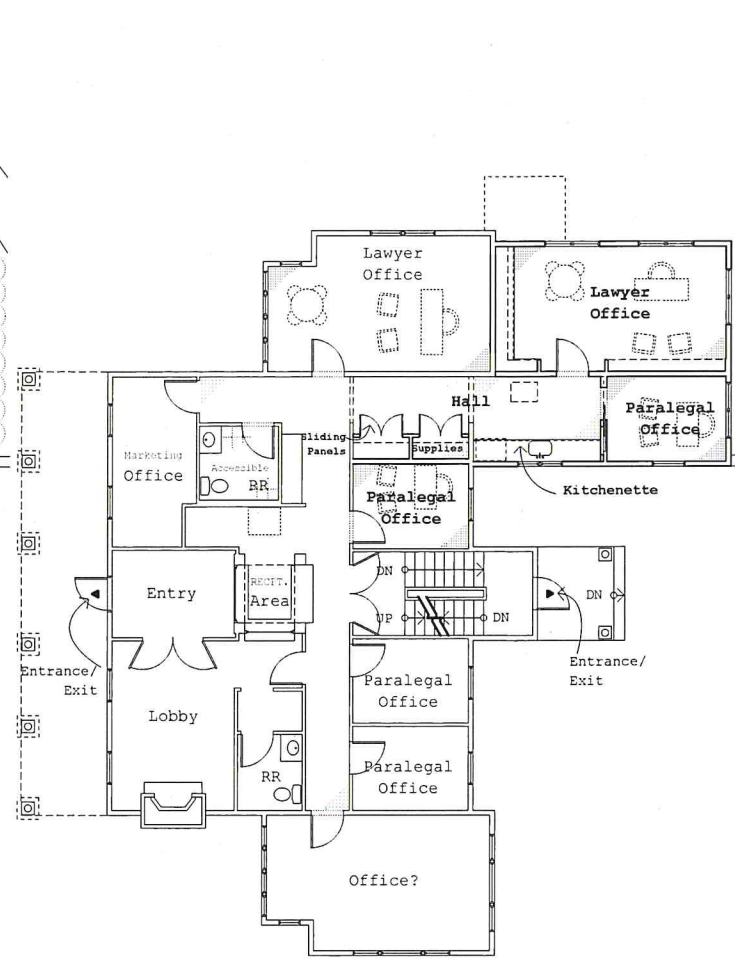
- = Exit sign
- = Exit sign w/ directional arrow
- = Emergency lighting unit
(battery backup)



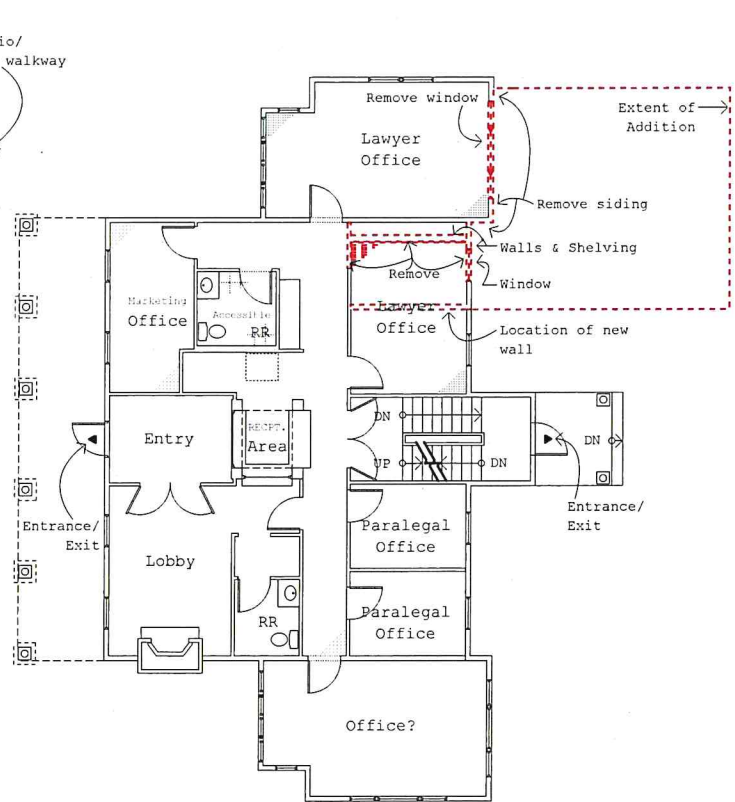
Basement Floor Plan - Proposed
1/8"=1'-0"



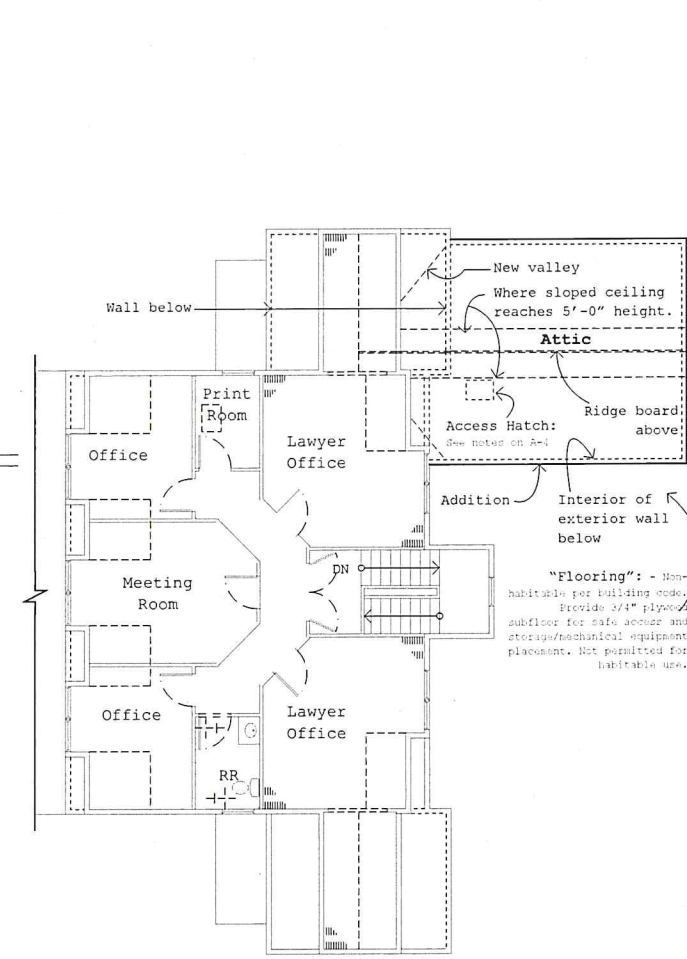
Basement Floor Plan - Exist.
1/8"=1'-0"



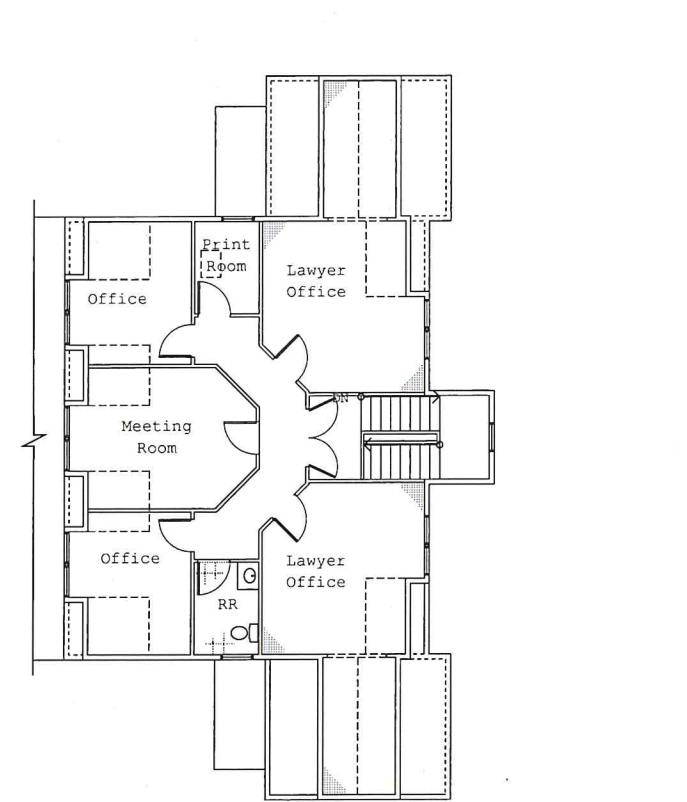
First Floor Plan - Proposed
1/8"=1'-0"



First Floor Plan - Exist.
1/8"=1'-0"



Second Floor Plan - Pro.
1/8"=1'-0"

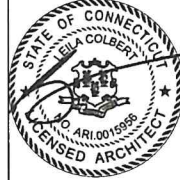


Second Floor Plan - Exist.
1/8"=1'-0"

LRM.design

Leila Colbert
Architecture LLC

425 West 43rd Street, Apt 1
New York, NY 10036
T: 917.608.3519
E: leila.colbert@gmail.com



Project Description:
- Two-Story Addition
to the rear of an
existing building
that houses a lawyer
office.

Project/Owner(s)/Contact:
Commercial ADDITION for:
D'Amico Pettinicchi Injury Lawyers
Contact: Jeremy D'Amico
jeremy.h.damico@gmail.com / 203 206 0552
Project Address:
465 Straits Turnpike, Watertown, CT 06795

No.	Date	Issue Status
1	July 20, 2026	CD - Commercial Addition

CD Set

A-2

Construction Notes:

Flooring:

Lawyer/Paralegal Offices: 1/2" engineered wood flooring to match existing. See Spec 09 64 29 for substrate prep and installation.
Entry (Basement): Vinyl Wood Tech, to match existing.
Hall: Wall-to-wall carpeting to match existing.
Exterior Patio & Accessibility Ramp: Permeable interlocking concrete pavers, tumbled finish, multi-piece random pattern, color/size to match existing. Install per mfr. assembly. At ramp & landings, joints filled with stabilized permeable sand (max 1/2" per ADA 302.3).

Walls:

All interior partitions in the addition are tagged P-3: 2x6 wood stud, sound-attenuated assembly. See Sound Partition Detail, Sheet A-4, for complete specification... including insulation, soundboard, and acoustic sealant requirements. This assembly targets STC 255 / IIC 250 for attorney-client confidentiality. Pocket doors, if constructed with a 2x8 wall, the same P-3 detail can be used.

Roof construction:

New rafters: 2x12 Doug fir #2 @ 16" O.C.
Shed roof section below: 2x8 Doug fir #2 @ 12" O.C. Insulation: min. R-49 in attic space or R-30 continuous insulation if unvented roof assembly. Roof material to match existing asphalt shingles in color and profile. Flashing, gutters, and all penetrations per roofing manufacturer specifications and current building code.

Plumbing:

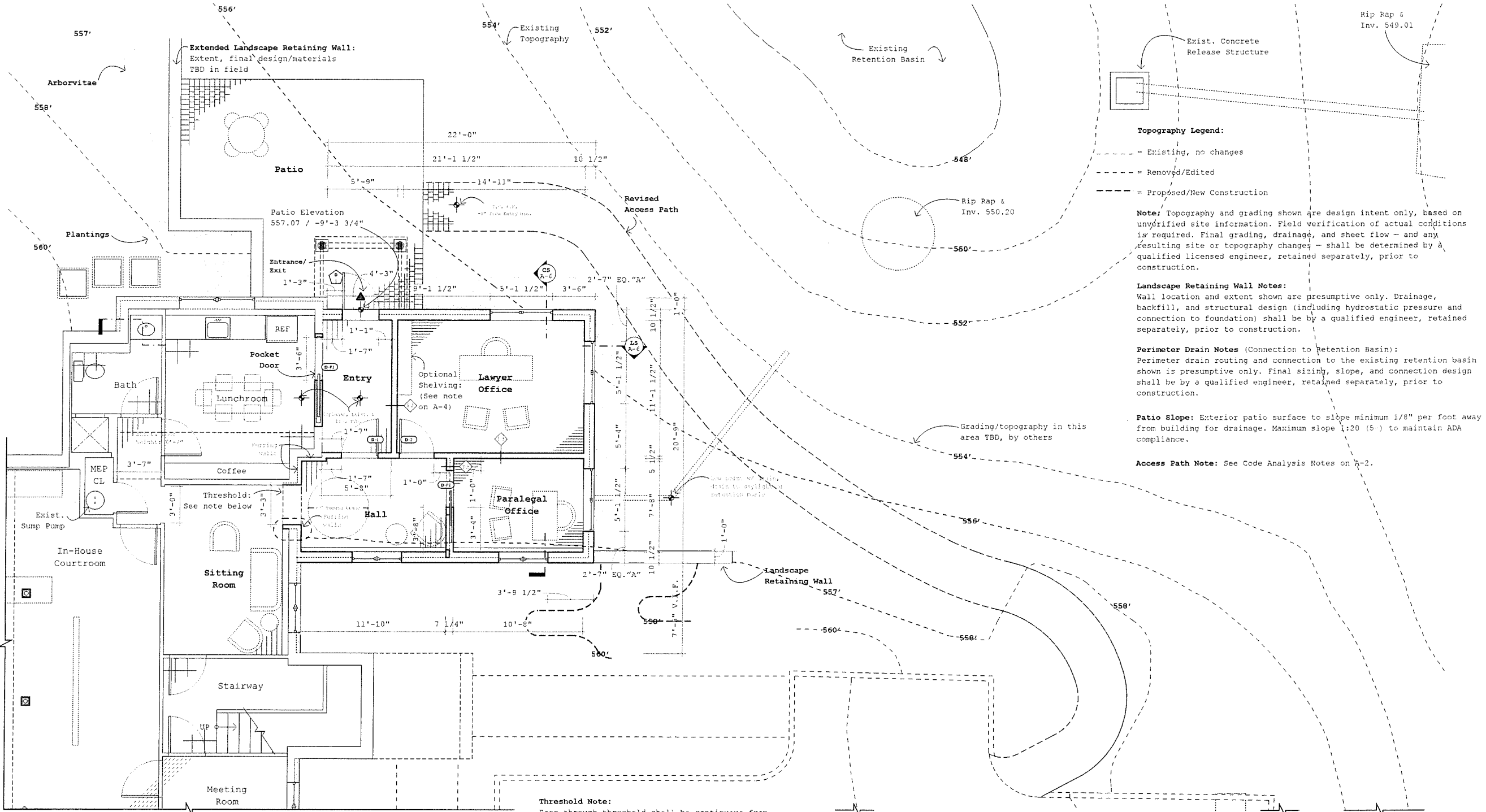
No new plumbing fixtures required. Existing building plumbing is adequate for the addition. Contractor to verify existing water/drain capacity and coordinate any MEP equipment connections.

Mechanical:

Property owner to determine if new HVAC system needed for addition. If required, owner prefers placement in attic space (non-habitable storage/mechanical area). All ductwork to be sized and installed per ASHRAE 62.1 ventilation standards. Coordinate with structural framing for duct routing. If equipment placed in attic, provide dedicated access with adequate clearance and plywood subfloor per construction notes on second floor plan. Existing forced hot air system connection points to be field-verified by mechanical contractor. All new work to comply with 2021 IECC and 2022 CT Energy Code.

Electrical:

New electrical service and distribution required for addition spaces: lawyer offices, paralegal offices, meeting room, kitchenette, and circulation areas. Load analysis and panel upgrade (if required) to be confirmed by licensed electrician. All outlets, switches, and lighting per code and owner requirements. Emergency lighting and exit signage as required by code. All penetrations through fire-rated walls to be sealed. Existing service location and capacity to be field-verified. Coordinate with structural and MEP trades for routing. All work per 2022 CT SBC electrical code requirements.



Basement Floor Plan - Proposed
1/4"=1'-0"

Threshold Note:
Pass-through threshold shall be continuous from existing conditions through new wall opening, maintaining profile, height, and material match. Trim finish to match existing profiles. Coordinate sheetrock wall surface termination with threshold integration.

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Leila Colbert
Architecture LLC



Project Description:
- Two-Story Addition to the rear of an existing building that houses a lawyer office.

Project/Owner(s)/Contact:
Commercial **ADDITION** for:
D'Amico Pettinichi Injury Lawyers
Contact: Jeremy D'Amico:
jeremy.h.damico@gmail.com / 203 206 0552
Project Address:
465 Straits Turnpike, Watertown, CT 06795

Issue Status
CD - Construction Documents
No. 1
Date July 20, 2026

CD Set

A-3
(3-7)

Sound Attenuation Notes:

Interior Partition Wall (P-3): 2x6 framing w/ ROCKWOOL Safe'n'Sound full cavity + 1/2" Homasote 440 SoundBoard both sides. All penetrations (electrical, plumbing, HVAC) acoustically sealed. No back-to-back outlets, fixtures, or devices. Stagger outlets on opposite sides. Frame isolated from structure where possible.

Floor on Slab (Acoustic Underlayment): Finish flooring over Maxxon Acousti-Mat 3 (impact isolation) on epoxy moisture-mitigation membrane (20-30 mil). Apply sealant at all perimeters and vertical obstructions to minimize sound transmission. Install per manufacturer's instructions. Slab preparation: shot-blast or ground to CSP 2-3, tested per ASTM F2170 (RH ≤75%) and F1869 (MVER 53 lb). Flatness 3/16" in 10'. Total build-up = 9/16".

Floor/Ceiling (Basement to 1st Floor): Between basement & 1st floor only: Assembly (bottom to top): Maxxon Acousti-Mat 3 impact isolation, 3/4" T&G ply subfloor over wood I-joists per Struct. w/ R-30 ROCKWOOL Safe'n'Sound full cavity; RSIC-1 clips @ 24" o.c. w/ 25-ga. hat channel @ 16" o.c.; (2) layers 5/8" Type X GWB ceiling, joints offset; finish flooring. Acoustic sealant continuous at all perimeters and penetrations. Critical: Ceiling GWB attaches to hat channel only—never screw through to joists. No back-to-back recessed fixtures, speakers, or grilles; box out all penetrations with drywall enclosure above. Do not omit or substitute any component without acoustic consultant review. Assembly sized for attorney-client privacy. Optional (not shown in detail): + 1/2" ply mass layer. It was left out due to matching of matching floor heights and ceiling heights as close as possible. Contractor to confirm with property owner if they wish to include this, and must calculate the dimensions if included.

Foundation Notes:

Slab on Grade: 4" concrete over 6" filter stone, poly vapor barrier, 2" rigid insulation.

Footings: New footings rebar defined on A-5. At exist. Found. Wall, 18" embedment into exist. foundation, 30" total length. Install dowels prior to new concrete pour. Verify exist. foundation condition before installation.

Structural Retaining Wall: Per structural engineer. Verify exist. conditions. See sections for detail.

Trim Notes:

Existing Trim: In existing rooms affected by the addition, adjust and continue the exist. Trim as needed. (TSD btwn. Contractor/P.O.s.)

Method A: Wainscoting, chair rail, and crown molding. Infill existing window opening with matching trim. Other spaces, match to adjacent context.

Method B: Method B (Simplified): Baseboard and window trim only.

Trim Notes Continued:

New Trim — (TSD btwn. Contractor/P.O.s.)

Method A (Match exist. lawyer office): Wainscoting, chair rail, and crown molding.

Method B (Simplified): Baseboard and window trim only.

General — Window/Door trim to match existing.

Cabinetry/Shelving Note:

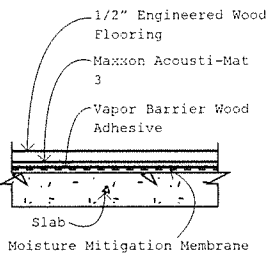
General: All proposed cabinetry and shelving is optional (if included by Owner). Design and installation by others. Conceptual location shown. This note excluded the Kitchenette. New supply closet layout shown with two equal bays is a placeholder only. Any configuration is acceptable provided a 3'-6" clear pathway is maintained between the existing hallway and the hall with kitchenette.

Kitchenette Note:

Sink, undercounter fridge, coffee bar. Design/install by Owner/contractor. Plumbing and electrical rough-ins per layout shown; coordinate final details with trades.

Details Note:

Windows & Doors: Windows & Doors: Provide product type, brand, and performance level as indicated on Sheet A-6. Installation details and flashing per manufacturer instructions; coordinate trim profiles to match existing conditions.



A1 Floor Assembly A - @ Slab
3"=1'-0"

Interior Wall Finishes: Paint/Colors: To match existing. Contractor to determine finishes/ color schemes with property owners.

Finish flooring (carpet/LVT/wood)

Acoustic underlayment (Maxxon Acousti-Mat 3)

3/4" T&G plywood subfloor (structural)

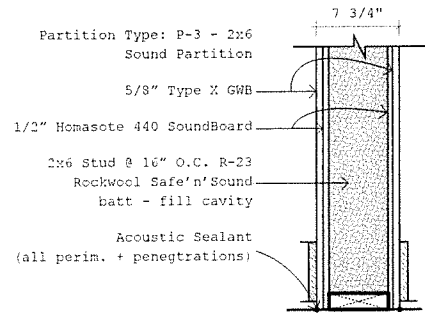
Wood I-joist per Struct. R-30 ROCKWOOL Safe'n'Sound full cavity

RSIC-1 clips @ 24" o.c. w/ 25-ga. hat channel @ 16" o.c.

(2) layers 5/8" Type X GWB joints offset, acoustic sealant at perim.

Interior Doors:

General: To match existing style/version/sizes/material/finish etc. Align T.O. door & trim. All doors comply with CT Building Code (IBC 2021) and ADA: 3'-0" min. width, 32" clear opening; lever handles (max 5 lbs force, both sides); solid core/solid doors; lockable (keyed or electronic); frosted/opaque glass if used; fire-rated per Building Official. Swing doors: 18" clear floor space on pull side, 12" on push side. See additional notes on A-6.



A3 Wall Type P-3 -
1 1/2"=1'-0"

Structural Notes:

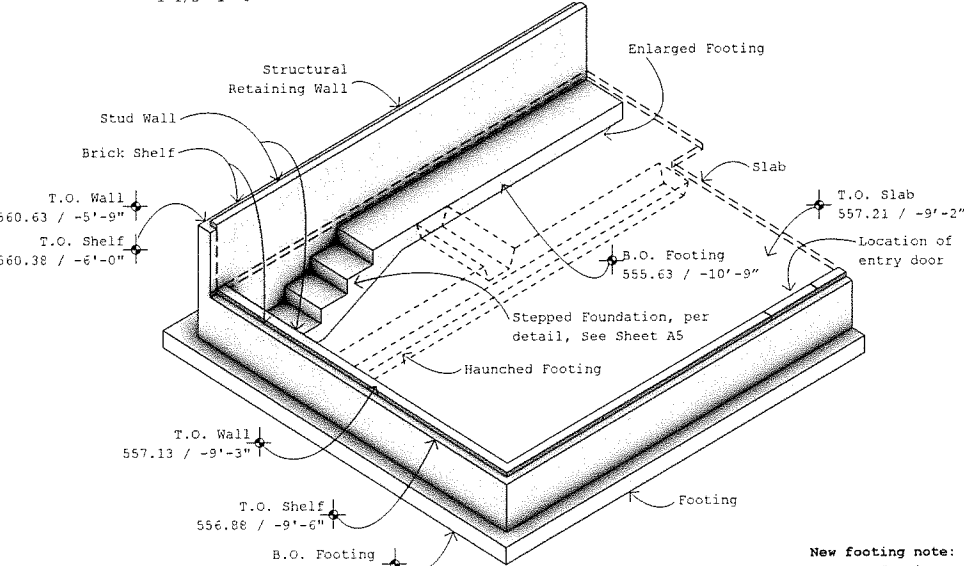
General Structural Notes:

- G1. All work shall conform to the requirements of the 2012 International Building Code, as amended for the 2016 Connecticut Building Code.
- G2. The Owner/Contractor shall submit 2 copies minimum of shop drawings for all components of the primary structural system for review by the Structural Engineer of Record. The Owner/Contractor shall allow a minimum of two (2) weeks for the review by the Structural Engineer of Record.
- G3. The General Contractor shall bear sole responsibility for means and methods of construction and safety on the job site.
- G4. All dimensions shown on the structural drawings are shown for reference only. Contractor is to verify all dimensions, angles, elevations, etc. prior to the start of construction or the fabrication of building components.
- G5. The General Contractor shall furnish complete sets of drawings to all subcontractors for use in shop drawing preparation.
- G6. The structural drawings shall be used in conjunction with the specifications and any other relevant drawings.
- G7. The wall is designed to have a 48" tall fence acting as a hand rail mounted to the top, provided that the fence is a minimum of 80" open to wind passage with apertures wider than 2".

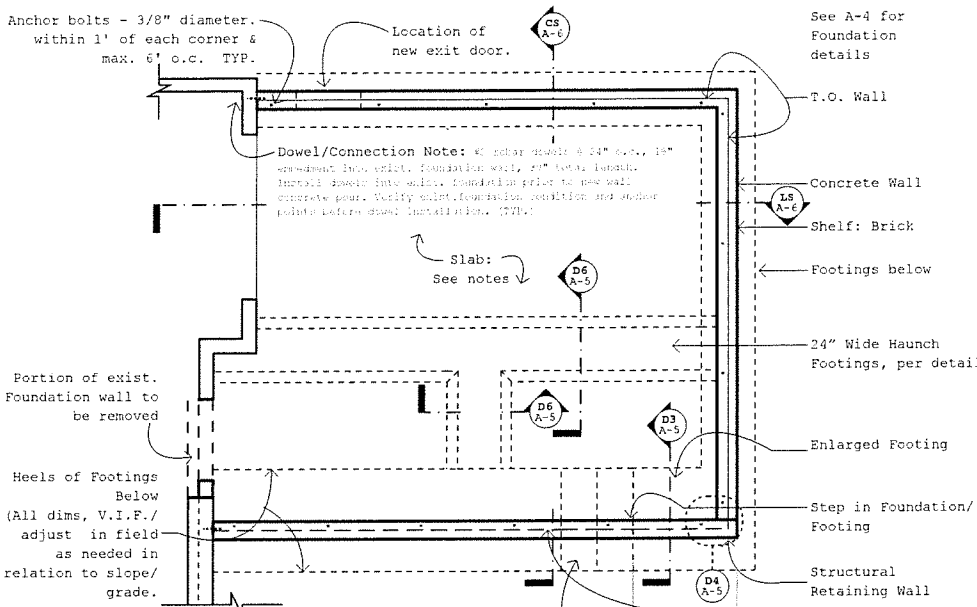
Concrete / Reinforced Concrete:

- C1. General: All concrete work shall conform to the American Concrete Institute's "Specifications for Structural Concrete for Buildings" (ACI 301-95).
- C2. Concrete mixes shall include mid-range water reducing admixture or plasticizer and shall have a design slump of 5" with a maximum placement slump of 6.5". Higher slumps are allowable if high range plasticizers are used.
- Concrete for foundations, walls, and footings: f'c = 4000 PSI at 28 days; w/c ratio = 0.47 (max); air entrainment = 6%.
- C3. Reinforcing steel: ASTM A615 - Grade 60.
- C4. Bar detailing: In accordance with the "ACI Detailing Manual - 1988." Placing drawings shall show the number and location of all bar supports and accessories.
- C5. Minimum development length and lap splice length of reinforcing bars shall be as follows (if f'c = 3000 PSI):
- Bar Size - Development Length* - Lap Splice Length
- #4 - 22" - 29", #5 - 28" - 36", #6 - 33" - 43", #7 - 48" - 63", #8 - 55" - 72", #9 - 62" - 81"
- *Increase bar development length by 50% for epoxy coated rebar.
- C6. Minimum concrete cover unless noted otherwise shall be as follows: concrete poured against earth - 3". Concrete poured in forms but exposed to earth or weather: #5 bars and smaller - 1-1/2"; larger than #5 bars - 2".

Struct. Notes Continued on Following Sheet..

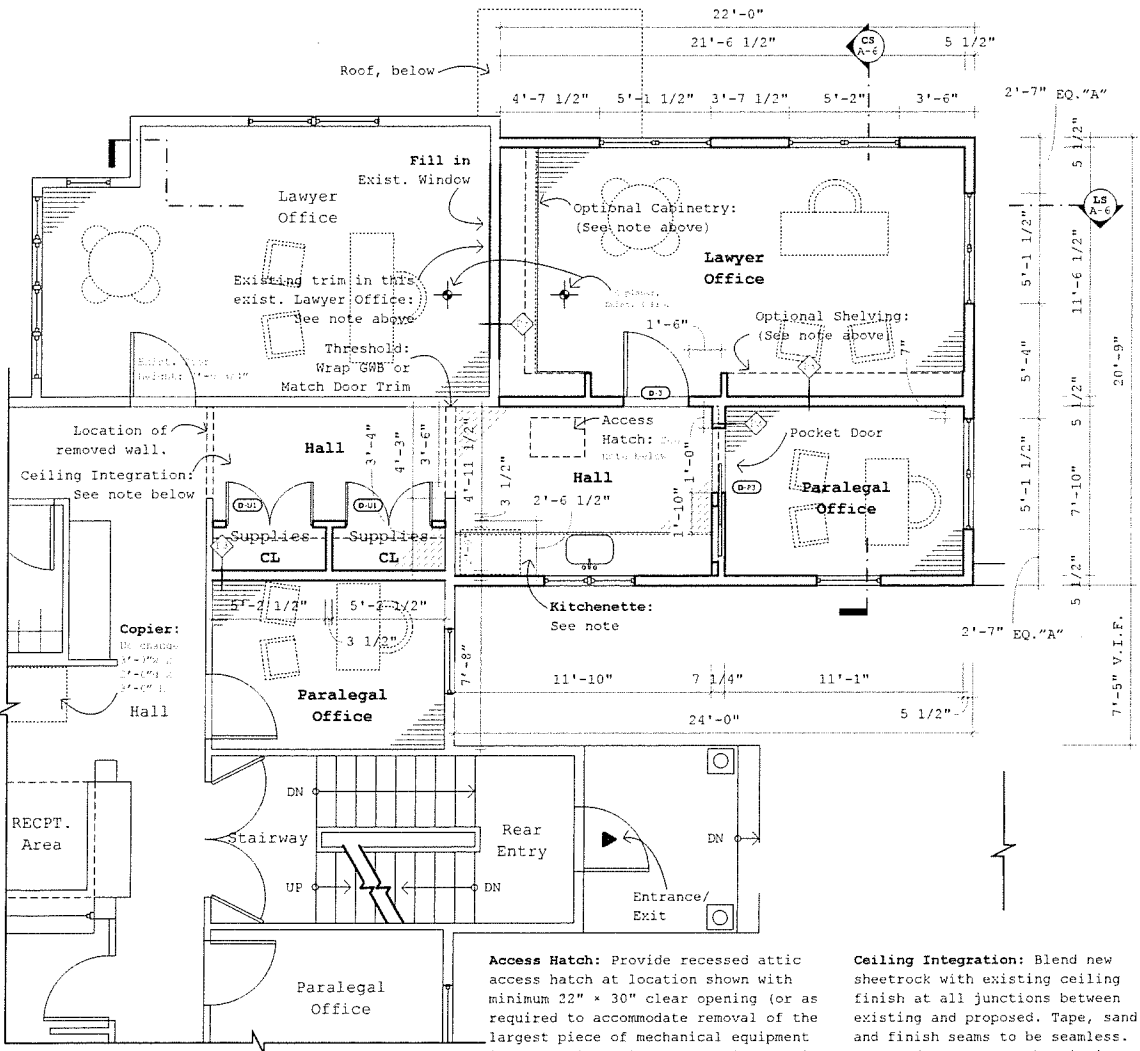


Foundation Axonometric Diagram - Proposed
1/4"=1'-0"



Foundation Plan - Proposed
1/4"=1'-0"

Stepped footing: no less than 18" from East Corner to maintain 42" frost protection. See D5 Detail



First Floor Plan - Proposed
1/4"=1'-0"

Access Hatch: Provide recessed attic access hatch at location shown with minimum 22" x 30" clear opening (or as required to accommodate removal of the largest piece of mechanical equipment installed in attic space, whichever is greater). Access hatch and attic passageway to comply with IBC Section 1209.2 and IMC Section 306. Coordinate final hatch size with mechanical equipment prior to rough-in.

Ceiling Integration: Blend new sheetrock with existing ceiling finish at all junctions between existing and proposed. Tape, sand, and finish seams to be seamless. Texture/color to match existing.

LRM.design

Architect of Record -

Leila Colbert
Architecture LLC
425 West 43rd Street, Apt 1
New York, NY 10036
Tel: 212.608.3517
E: leila.colbert@gmail.com

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Issue Status
CD Set

No. 1

Date
July 20, 2026

CD Set

A-4

(4-7)

Foundation / Soils:

Foundation / Soils:

Subgrade / Structural Earthwork:

Retaining Wall Design Notes:

4 Retained soil shall be determined to meet or exceed the requirements below in the absence of a geotechnical engineering study. If a geotechnical study is performed, the geotechnical engineer must verify the soil in the area as meeting the requirements below. Soils not meeting these requirements shall be excavated and replaced with acceptable soils. The underlying soils shall be investigated for the presence of weak soils, loose soils, or loams to a depth of 1.5 times the height of the retaining wall. If weak soils are present, they shall be excavated and replaced with acceptable soils.

Once the elevation of the bottom of the 6" stone leveling pad is achieved, the area is to be proof-compacted with vibratory compaction equipment prior to placing the leveling pad. Free-draining backfill soil shall be crushed stone placed directly behind the wall for the depths specified on plans (1'-0" min.) and shall extend vertically from the leveling pad to between 0" and 4" below top of wall. Exposed drainage stone shall be protected from fine soil migration throughout construction. The leveling pad and drainage stone behind the wall are to be filter stone, which shall be washed, crushed stone (free of debris, organics, and voids) with no more than 5% passing a #40 sieve, meeting the following gradation requirements:

Filter Stone Gradation

Sieve Size - % Passing

6" - 100, 3" - 55-100, 1 1/2" - 30-100, 3/4" - 20-60

3/8" - 15-45, #10 - 10-20, #40 - 0-5

All structural fill is to be compacted to 95% of its maximum dry density per ASTM D-1557 (3-point curve acceptable) and is to conform to the following gradation:

Structural Fill Gradation

Sieve Size - % Passing

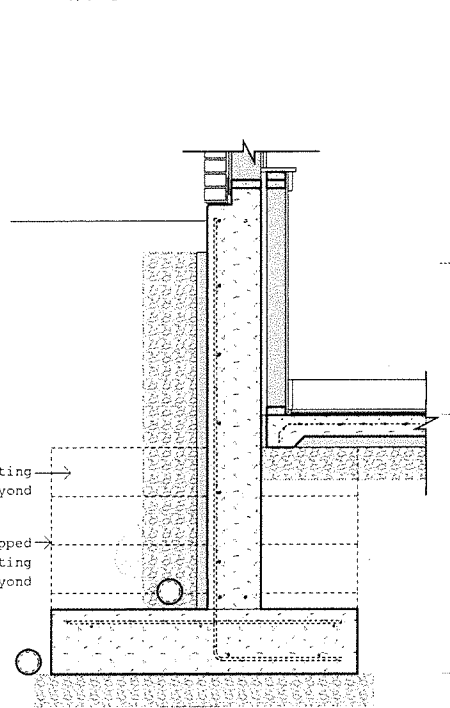
6" - 100, 1 1/2" - 85-100, 3/4" - 50-85, 3/8" - 40-80, #10 - 30-75, #40 - 10-40, #200 - 0-10

Backfill soil beyond the drainage zone shall be clean "bank run gravel" (USCS SW or SW/SM) with no more than 10% passing the #200 sieve and shall meet or exceed the requirements above. Organic and frost-susceptible soils are not permitted within a minimum distance behind the wall equal to the height of the wall.

Slab-on-Grade Joint and Edge Detail Notes:

-
- Lap Length, See notes
- 2H 2H
- T-1'-0"
- H H H
- Min. 3"
- T-min. 1'-0"
- 1/2 2 min.
- *Max footing step height 18"

D5 Detail - Stepped Footing Detail
3/4"=1'-0"



D3 Detail - Struct. Retaining Wall
3/4"=1'-0"

0" Clr. Typ.

6" Min., Typ.

6" Clr. Typ.

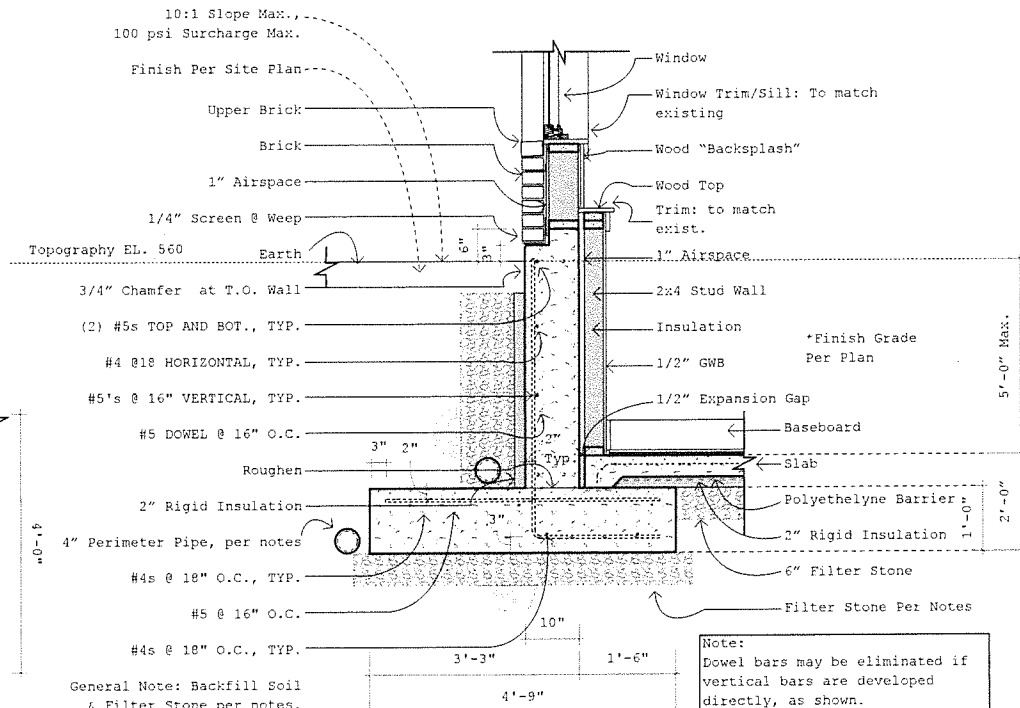
1'-0" Bend Typ.

2'-6" Bend Typical

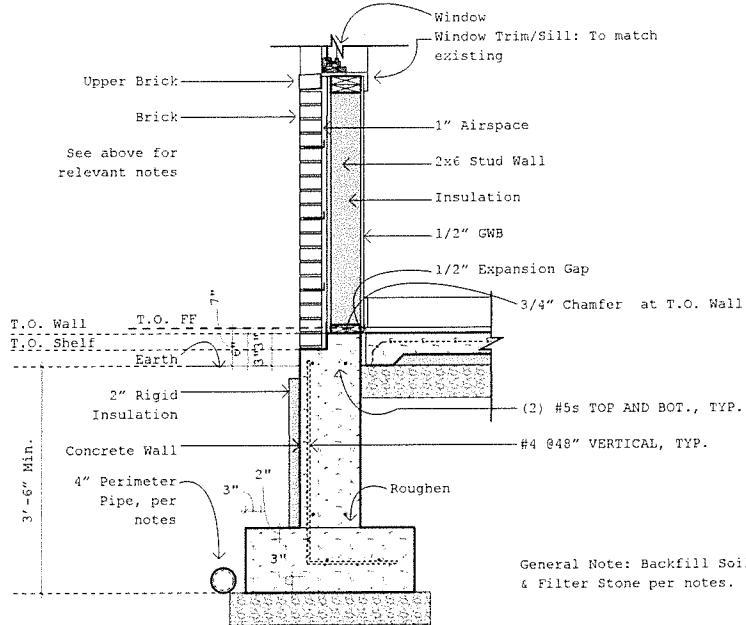
(D4) Detail - Wall Corner Reinforcing
1"=1'-0"

(D6) Detail - Typ. Slab Haunch
3/4"=1'-0"

(D7) Detail - Typ. Slab
3/4"=1'-0"



D2 Detail - Struct. Retaining Wall
3/4"=1'-0"



D1 Foundation Detail TYP.- East Wall
3/4"=1'-0"

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Architect of Record -
Leila Colbert
Architecture LLC
425 West 43rd Street, Apt 1
New York, NY 10036
T: 917.608.3519
E: leila.a.colbert@gmail.com

Project Description:

- Two-Story Addition to the rear of an existing building that houses a lawyer office.

Project/Owner(s)/Contact
Commercial ADDITION for:
D'Amico Pettinicchi Injury Law
Contact: Jeremy D'Amico;
jeremy.h.damico@gmail.com / 214-343-1111
Project Address:

No.	Date	Issue Status
1	July 26, 2026	On: "Introduction to Computing with Java"

CD Set	
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(A-5)

(5-7)

Structural Notes:

General: All sizes by IRC. All structural specifications outside of the foundation are preliminary and presumptions by LRM Design LLC and all need to be confirmed by lumber manufacturer, to be stamped by licensed engineer.

Joists: Specified as noted on framing plans. 100 psf load. Load bearing wall provided to support span. Alternate options: Double 11 7/8" LVL @ 16" O.C. or 14" 516 TJI @ 16" O.C. or Double 2x12 Doug fir #2 @ 8" O.C.

Insulation Notes:

Code Compliance: All insulation per 2021 IECC (CT), Climate Zone 5.

Exterior Walls (above grade): Min. R-20 continuous or R-13 cavity + R-5 c.i. w/ vapor retarder per IECC C402.5.

Roof/Attic: Min. R-49 (attic) or R-30 c.i. (unvented).

Foundation/Basement Walls: Min. R-10 continuous rigid insulation (2" min. XPS/polyiso), full height. See sections.

Sub-Slab: 2" rigid insulation below slab (conditioned basement). Extend R-10 min. 2'-0" at slab edge. See sections.

Floor Assembly (Basement/1st Floor): R-30 ROCKWOOL Safe'n'Sound, full cavity. See A-6 for complete assembly.

Interior Partitions (Sound): 2x6 framing w/ ROCKWOOL Safe'n'Sound + 1/2" Homasote 440 SoundBoard both sides (Type P-3). All penetrations sealed.

Installation: Per manufacturer's instructions. No compressed/damaged material. Coordinate with WRB, vapor barrier, air barrier. No gaps at framing, plates, or blocking.

Elevation Ladder: All Exist. & Proposed
Absolute Elevation / Relative to Datum @ T.O. F.F.

T.O. Roof (to align with T.O. Exist.) -
584.67 / +18'-3 1/2" V.I.F.

T.O. 2nd Flr. -
576.34 / +9'-11 1/2"

B.O. Ceiling -
575.08 / +8'-8 3/8"

T.O. F.F. -
566.38 / 0'-0" DATUM

B.O. Ceiling -
565.08 / -1'-3 5/8"

BSMT. FF -
557.08 / -9'-3 5/8"

T.O. Soil -
556.58 / -9'-9 5/8"

45° angle excavation,
cut from bottom of
existing footing.

CS Cross Section - Looking West - Pro.
1/4"=1'-0"

LS Long Section - Looking South - Pro.
1/4"=1'-0"

General note, floor/roof framing:
Joist type, size, and spacing TBD by contractor,
lumber manufacturer, and their engineer.

New Rafters: shed roof below
2x8 Doug fir #2 @ 12" O.C.

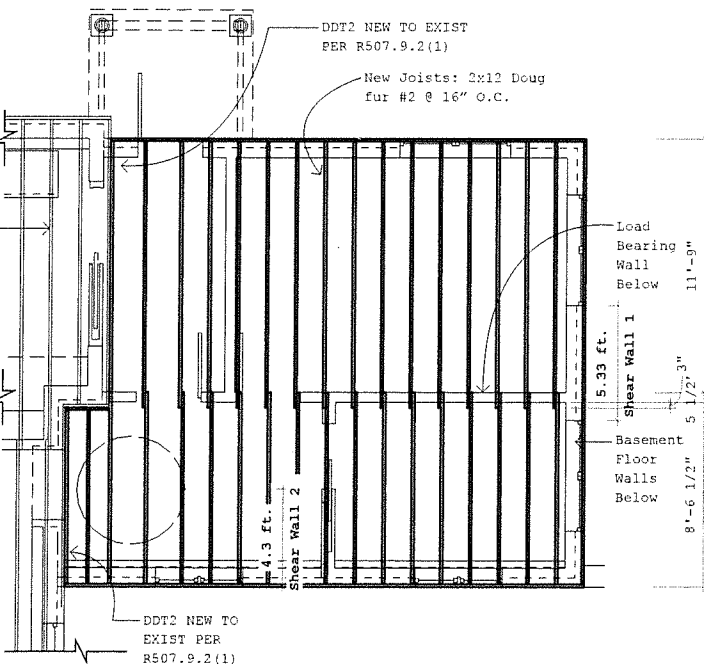
DDT2 NEW TO EXIST
PER R507.9.2(1)

New Rafters:
2x12 Doug fir #2
@ 16" O.C.

Ridge Board

First Floor
Walls Below

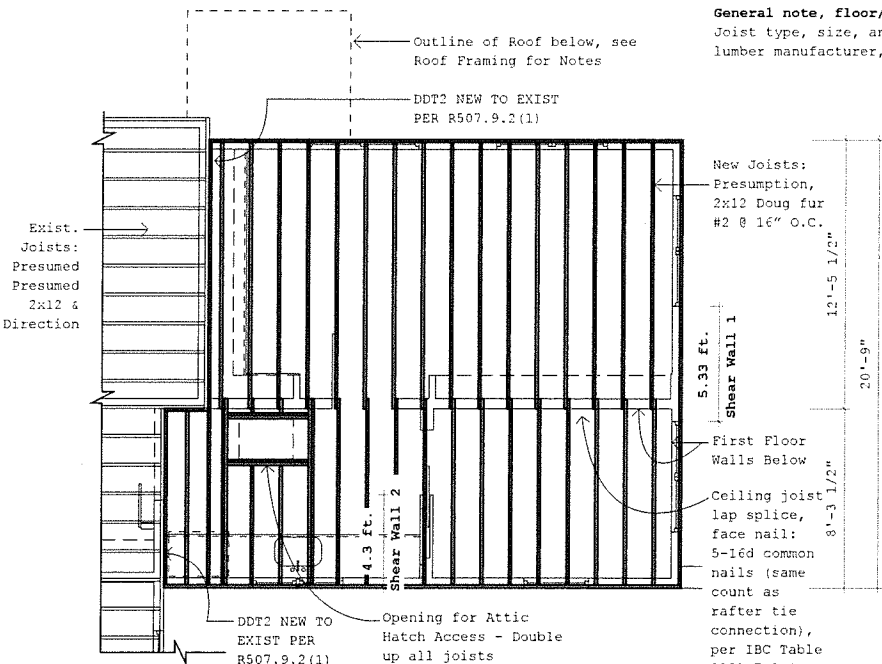
Rafter to ceiling
joist (rafter tie),
face nail: 5-16d
common nails per IBC
Table 2308.7.3.1 (IBC
Table 2304.10.1, Item
4).



First Floor Framing Plan - Proposed
1/4"=1'-0"

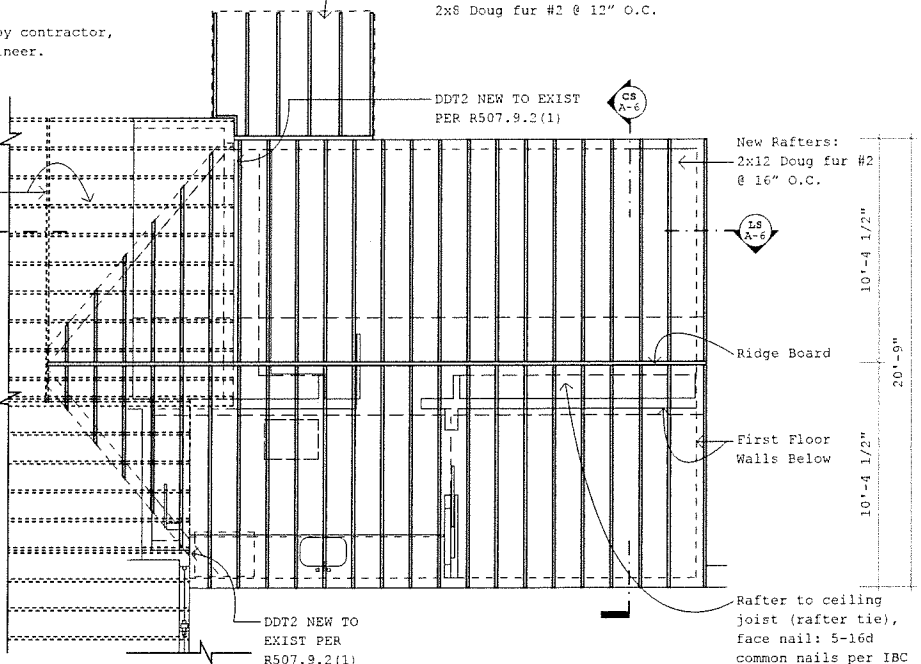
1ST STOREY SHEAR WALLS:
SHEARWALL 1 = 7/16 OSB on the ext. face w/10d common nails penetrating 1-1/2" min @ 6" OC, block panel edges
SHEARWALL 2 = 7/16 OSB on both faces w/10d common nails penetrating 1-1/2" min @ 4" OC, double studs, block panel edges, 4x6 or 4-ply 2x4 each end with HDU11 to foundation

NOTE:
Block solid between 1st and 2nd storey posts, strap is intended to run along interior face of door jamb. no additional jamb



Second Floor Framing Plan - Proposed
1/4"=1'-0"

2nd STOREY SHEAR WALLS:
SHEARWALL 1 = 7/16 OSB on the ext. face w/10d common nails penetrating 1-1/2" min @ 6" OC, block panel edges
SHEARWALL 2 = 7/16 OSB on both faces w/10d common nails penetrating 1-1/2" min @ 6" OC, block panel edges, 2-ply 2x4 each end with MSTC66 to post below



Roof Framing Plan - Proposed
1/4"=1'-0"

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Architect of Record -
Leila Colbert
Architecture LLC
442 West 43rd Street, Apt 1
New York, NY 10036
T: 212 603 3213
E: leila.colbert@gmail.com

Project Description:
- Two-Story Addition
to the rear of an
existing building
that houses a lawyer
office.

Project/Owner(s)/Contact
Commercial **ADDITON** for:
D'Amico Pettinacchi Injury Lawyers
Contact: Jeremy D'Amico;
jeremy.h.damico@gmail.com / 203 206 0552
Project Address:
465 Straits Turnpike, Watertown, CT 06795

No.	Date	Issue Status
1	July 20, 2026	CD Set

CD Set

A-6

Exterior Elevation Notes:

General:

Context detailed adjacent to the addition; broader context shown in simplified form.

Siding:

Vinyl: Double 4", panel is 8" total. Color to match existing (light yellow). TBD By contractor. Brick: Contractor to confirm size of brick and confirm all details provided are adequate to match existing.

Trim:

To match existing. Gutters: Include, match to existing. Possibly oversized on North Side. TBD by contractor.

Stone Walls: Design and materials by contractor.

Exterior Door Note:

Match new door & door surround/trim at North entrance with exist. East Entrance. Profiles and proportions shown are diagrammatic only. Final detailing and dimensions to be field verified and coordinated by Contractor and trades.

Exterior Columns Note:

Match North entrance with exist. East Entrance. Contractor to determine.

Window Schedule: Specs based on Exist. Spencer Walcott Double Hung (Matthews Brother Company). Double windows use singles w/ Duralite spacers. Contractor to confirm series, size, details & location.

Tag #	QTY.	Unit Size	R.O. Rough Opening	Operation	Notes / Pane
W1	7	(28.5"x32")+1.5"-60.5"x65.5"	(30"x32")+1.5"-61.5"x66"	D.H.	DH3066 - Muller Double
W2	2	47 1/16"x0"x35.5"	47 9/16"x36"	Swing Csmt.	Twin - Muller (Align w/ exist.)
W3	1	35.5"x65.5"	36"x66"	D.H.	DH3666 - Single
W4	1	(28.5"x32")+1.5"-48.5"x47.5"	(30"x32")+1.5"-49.5"x48"	D.H.	DH2448 - Muller Double

Existing Window Note: Manufacturer: Mathews Brothers Company, Belfast, ME. Product: Spencer Walcott Double Hung, NFRC Rating: NFRC 100/200/500, Certification: NFRC MBC-M-21. https://mathewsbros.com/wp-content/uploads/2026/01/WalcottCatalogFinal2025_Web.pdf

Exterior Door Schedule: Contractor to confirm series, size, and details.

Tag #	QTY.	Nominal	R.O. Rough Opening	Operation	Notes
D1	1	3'-0"x7'-0"	TBD	Swing	Single / Bsmt. Floor

Interior Door Schedule: Contractor to confirm series, size, and details.

Tag #	QTY.	Nominal	R.O. Rough Opening	Operation	Notes
D2	1	3'-0"x7'-0"	TBD by contractor	Left	Swing / Bsmt. Floor
D3	1	3'-0"x7'-0"	"	Right	Swing / Bsmt. Floor
D4	1	3'-0"x7'-3/4"	"	Left	Swing / 1st Floor
D5	1	3'-6"x7'-0"	"	Pocket	Standard / Bsmt. Floor
D6	1	3'-0"x7'-0"	"	Pocket	Acoustic-Rated / Bsmt. Floor
D7	1	3'-0"x7'-3/4"	"	Pocket	Acoustic-Rated / 1st Floor
D8	2	4'-0"x7'-3/4"	"	Swing or Slide	Double Door, For closet / 1st Floor

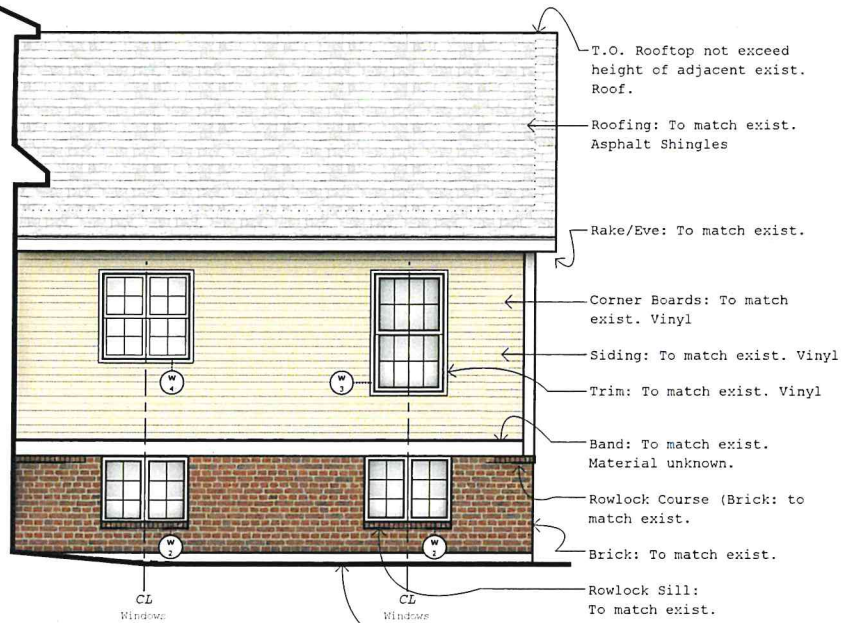
Door specifications - Law office & Paralegal offices:

Pocket door - First Floor Paralegal Office: Assembly: 3'-0" min. width, 32" clear opening; acoustic-core door with automatic bottom seal, top and side acoustic seals, full perimeter sealant; accessible lever hardware; lockable; frosted/opaque glass. Specified to achieve STC 50 minimum for attorney-client confidentiality. Door retracts into wall per ADA Section 404.2.4; 18" clearance required on both sides (both treated as pull sides). Assembly meets ADA compliance in space-constrained location.

Accessibility note: Per ADA 2010 Standards Section 203.9, First Floor Paralegal Office is the designated accessible entrance to employee work areas; full ADA-compliant door assembly and approach clearances per Section 404.2. Basement Paralegal Office is secondary work space with standard door assembly; 12" minimum clearance to adjacent wall on handle side. Common use circulation paths remain fully accessible.



East Elevation - Looking West - Pro.
1/4"=1'-0"



South Elevation (Partial) - Looking North - Pro.
1/4"=1'-0"



North Elevation - Looking South - Pro.
1/4"=1'-0"

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Leila Colbert
Architecture LLC



Project Description:
- Two-Story Addition
to the rear of an
existing building
that houses a lawyer
office.

Project/Owner(s)/Contact
Commercial ADDITION for:
D'Amico Pettinocchi Injury Lawyers
Contact: Jeremy D'Amico
jeremy.h.damico@gmail.com / 203 206 0552
Project Address:
465 Straits Turnpike, Watertown, CT 06795

No.	Date	Issue Status
1	July 20, 2026	CD Set

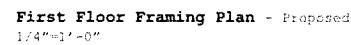
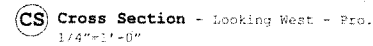
CD Set

General: All sizes by IRC. All structural specifications outside of the foundation are preliminary and presumptions by LRM Design LLC and all need to be confirmed by lumber manufacturer, to be stamped by licensed engineer.

Insulation Notes:

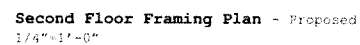
Installation: Per manufacturer's instructions. No compressed/damaged material. Coordinate with WRB, vapor barrier, air barrier. No gaps at framing, plates, or blocking.

556.58 / -9' -9 5/8"

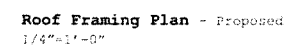


NOTE :

Block solid between 1st and 2nd storey posts, strap is intended to run along interior face of door jamb. no additional jamb



General note, floor/roof framing:
Joist type, size, and spacing TBD by contractor,
lumber manufacturer, and their engineer.



CLA ENGINEERS
STRUCTURAL REVIEW OF
DETAILS ON AS & LATERAL
BRACING ONLY!

A-6

Lee McMahon : lee@www.lee-mcmahon.com
 13401 E. 15th Avenue, Suite 100, Aurora, CO 80012, USA



Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org

SITE PLAN APPROVAL (SA) / SPECIAL PERMIT (SP)

Applicant Information

Name: Echo Lake Property, LLC

Address: 550 Woodbury Road, Watertown, CT 06795

Email: flori@csmasonryandpaving.com Phone #: (203) 512-3838

Print Name: Mr. Flori Cenkoli

Signature of Applicant: [Signature] Date: 07-17-26

Owner Information

Name: SAME AS APPLICANT

Address: _____

Email: _____ Phone #: _____

Print Name: Flori Cenkoli

Signature of Owner: [Signature] Date: 07-17-26

Location of Property:

Address: Echo Lake Road - Assessor's Map #104, Block #90, Lot #2E

Zone IR-80 Non-conforming? Yes ☐ No ☒ Map 104 Block 90 Lot 2E

Description of Existing Use/ Property

Type Of Use Vacant

Size of Property: 4.875 Acres

Number of Buildings/ Sq Ft approximately: None

Number of parking spaces: None

Other important features: None

Signage (# of signs & square feet) provide a cut sheet or sketch: None

Description of Proposed Use

Uses: Construction Contractor Facility

Number of Buildings/ Sq Ft approximately: One (1) Proposed Building (10,080 SF)

Number of parking spaces: Twenty-eight (28) parking spaces proposed

Signage (# of signs & square feet) provide a cut sheet: No "Site Sign" is proposed at this time. Only sign proposed is a "Stop" sign at the curb-cut.

Number of Employees Twenty (20)

Professional Engineer/ Surveyor

Name: David A. Hughes, P.E., L.S.

Address: 57 Norway Street, Oakville, CT 06779

Email: dhughes@hecole.com

Phone: (860) 681-7483

Fees

An additional \$60 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

Residential	\$250
Multi-family dwellings or Non- residential use	
Value less than\$100,000	\$500
Value \$100,000 to \$500,000	\$1,000
Value more than \$500,000	\$1,000 plus \$200 for each
\$100,000 value	

Special permits or special exception (in addition to the application fee and site plan fee)

Residential	\$150
Non-Residential	\$250
Excavation of fill materials	
Less than 1,000 cubic yards	\$500
1,000 to 49,999 cubic yards	\$1,000
50,000 to 99,999 cubic yards	\$2,000
100,000 or more cubic yards	\$4,000

**SITE PLAN
FOR
ECHO LAKE ROAD
ASSESSOR'S MAP #104, BLOCK #90, LOT #2E
WATERTOWN, CONNECTICUT**

PREPARED FOR

ECHO LAKE PROPERTY, LLC

JULY 9, 2026

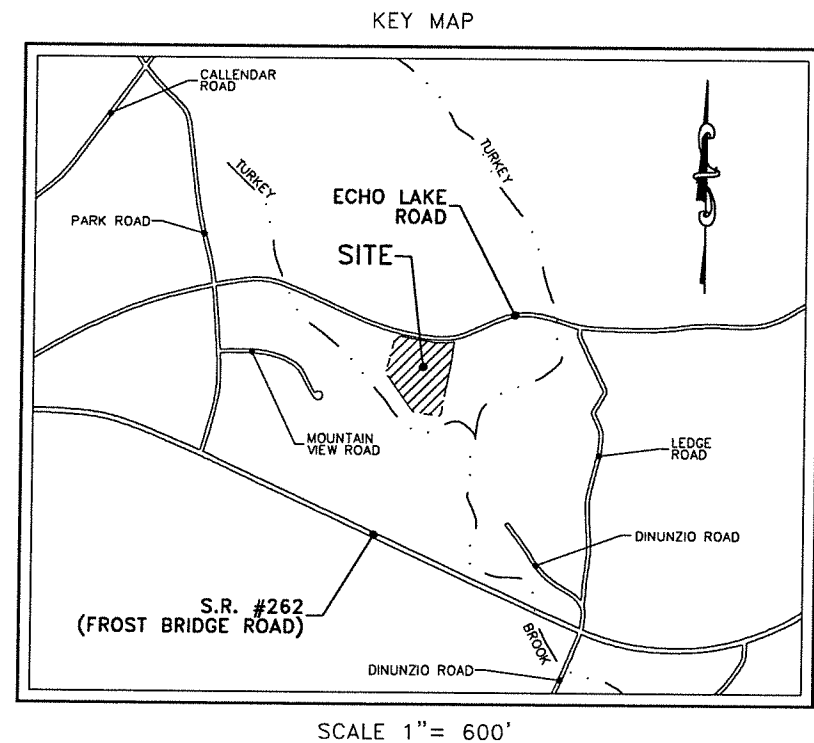
INDEX OF DRAWINGS

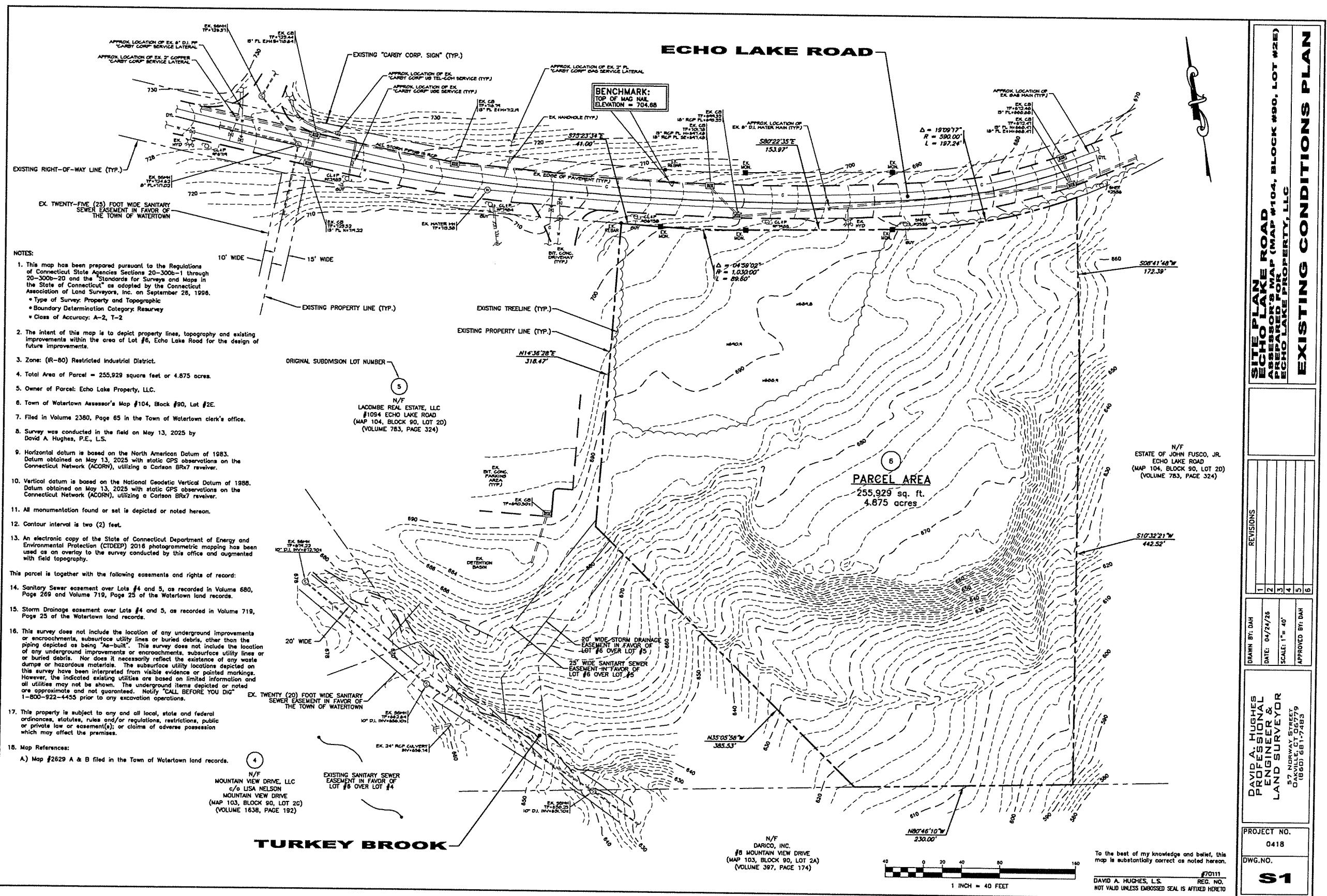
- S1 - EXISTING CONDITIONS PLAN
- C1 - SITE LAYOUT PLAN
- C2 - SITE DEVELOPMENT PLAN
- C3 - LOW PRESSURE FORCE MAIN PLAN & PROFILE
- C4 - SOIL EROSION & SEDIMENT CONTROL NARRATIVE
& FUNCTIONAL GROUPS & MEASURES
- C5 - SOIL EROSION & SEDIMENT CONTROL PLAN
- C6 - CONSTRUCTION NOTES, SPECIFICATIONS &
DETAILS
- C7 - CONSTRUCTION DETAILS
- C8 - CONSTRUCTION DETAILS
- C9 - CONSTRUCTION DETAILS
- L1 - SITE LIGHTING & LANDSCAPE PLAN

APPLICANT & OWNER
ECHO LAKE PROPERTY, LLC
550 WOODBURY ROAD
WATERTOWN, CT 06795
(203) 512-3838

CIVIL ENGINEER & LAND SURVEYOR

DAVID A. HUGHES
PROFESSIONAL ENGINEER &
& LAND SURVEYOR
57 Norway Street
Oakville, CT 06779
(860) 681-7483





PROJECT NOTES:

1. OWNER: ECHO LAKE PROPERTY, LLC.
2. APPLICANT: ECHO LAKE PROPERTY, LLC.
3. STREET ADDRESS: ASSESSOR'S MAP #104, BLOCK #90, LOT #2E
4. MAILING ADDRESS: 550 WOODBURY ROAD, WATERTOWN, CT 06795.
5. TOTAL AREA OF PARCEL: 255,929 S.F. OR 4.875 ACRES.
6. PARCEL IS ZONED: RESTRICTED INDUSTRIAL DISTRICT (IR-80).
7. PRESENT USE: VACANT.
8. PROPOSED USE: CONSTRUCTION CONTRACTOR FACILITY.
9. HOURS OF OPERATION: MONDAY - SATURDAY (8AM TO 6PM).
10. NO INLAND WETLANDS EXIST ONSITE.
11. SITE WILL BE SERVICED BY PUBLIC WATER, SEWER, AND GAS.
12. ALL SITE WORK SHALL CONFORM TO SPECIFICATIONS AS OUTLINED IN C.D.O.T. FORM 619 DATED 2024, INCLUDING ALL TRAFFIC SPECIAL PROVISIONS AMENDED TO DATE.
13. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
14. AN AS-BUILT PLAN OF ALL PROPOSED CONSTRUCTION SHALL BE CONDUCTED AND SUBMITTED.
15. REFER TO SHEET C6 FOR ALL PROJECT NOTES & SPECIFICATIONS.
16. FINAL SITE SIGNAGE SHALL BE APPROVED BY ZONING COMMISSION UNDER A SEPARATE APPLICATION/PERMIT.

ZONING DATA

ZONE IS (IR-80) - RESTRICTED INDUSTRIAL DISTRICT

	REQUIRED	PROPOSED
MINIMUM LOT AREA	80,000 SF	255,929 SF
MINIMUM LOT FRONTAGE	50'	481.81'
MINIMUM FRONT YARD SETBACK:		
ABUTTING A NON-RESIDENTIAL DISTRICT	50'	52.6'
ABUTTING A RESIDENTIAL DISTRICT	75'	N/A
MINIMUM REAR YARD SETBACK:		
ABUTTING A NON-RESIDENTIAL DISTRICT	35'	159.0'
ABUTTING A RESIDENTIAL DISTRICT	75'	N/A
MINIMUM SIDE YARD SETBACK:		
ABUTTING A NON-RESIDENTIAL DISTRICT	35'	67.8'
ABUTTING A RESIDENTIAL DISTRICT	75'	N/A
ALLOWABLE PROJECTION	3'	N/A
MINIMUM PARKING/LOADING SETBACKS		
FRONT YARD:		
ABUTTING A NON-RESIDENTIAL DISTRICT	25'	33.5'
ABUTTING A RESIDENTIAL DISTRICT	25'	N/A
SIDE AND REAR YARD:		
ABUTTING A NON-RESIDENTIAL DISTRICT	25'	25.5'
ABUTTING A RESIDENTIAL DISTRICT	75'	N/A
BUILDING COVERAGE	40%	4.0%
IMPERVIOUS COVERAGE	65%	39.0%
MAXIMUM FLOOR AREA RATIO	0.50	0.04
MAXIMUM BUILDING HEIGHT (IN STORIES)	4	1
MAXIMUM BUILDING HEIGHT (IN FEET)	60'	34'

PARKING REQUIREMENTS:

Refer to Parking and Loading Basic Provisions per Section 6.2, of the Watertown Zoning Regulations.

PARKING SPACE CALCULATION:
1.) OFFICE SPACE 1,080 SF / 300 SF PER SPACE = 4 SPACES
2.) GARAGE SPACE 9,000 SF / 2,000 SF PER SPACE = 5 SPACES
3.) (15) OFF-SITE EMPLOYEES ONE SPACE PER EMPLOYEE = 15 SPACES
TOTAL # OF SPACES REQUIRED = 24
TOTAL # OF SPACES PROVIDED = 28 (INCLUDING 2 H/C)

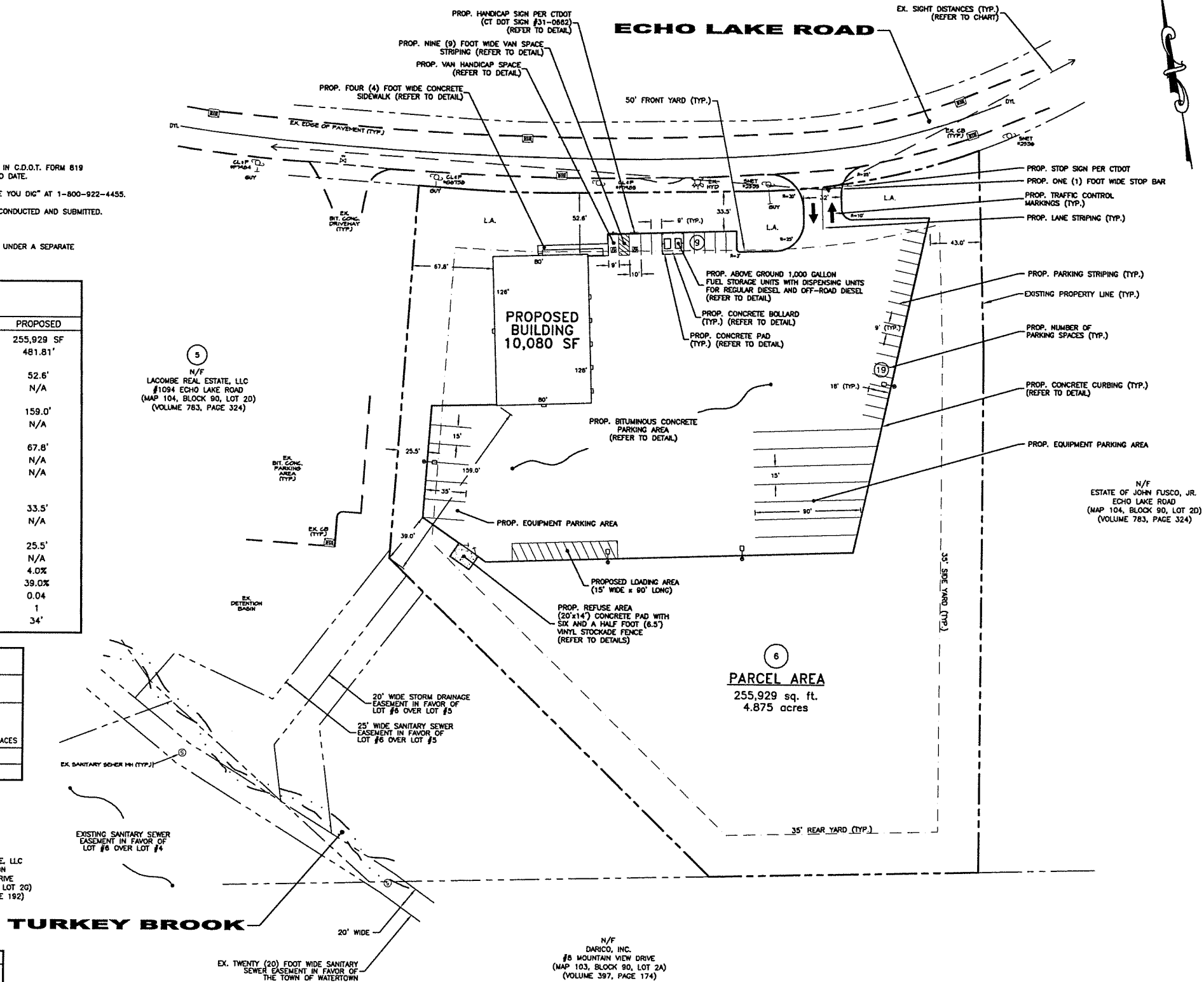
ORIGINAL SUBDIVISION LOT NUMBER

4
N/F
MOUNTAIN VIEW DRIVE, LLC
c/o LISA NELSON
MOUNTAIN VIEW DRIVE
(MAP 103, BLOCK 90, LOT 2G)
(VOLUME 1638, PAGE 192)

INTERSECTION SIGHT DISTANCES

2003 CONNECTICUT D.O.T. REQUIRED SIGHT DISTANCES

*35 M.P.H.	L (MIN.) 490'	R (MIN.) 490'
SIGHT DISTANCES AS MEASURED IN THE FIELD		
Exit Left >600'		
Exit Right >500'		
*POSTED SPEED LIMIT: 35 M.P.H.		



SITE PLAN
ECHO LAKE ROAD
ASSESSOR'S MAP #104, BLOCK #90, LOT #2E
ECHO LAKE PROPERTY, LLC
SITE LAYOUT PLAN

REVISIONS
1
2
3
4
5
6

DRAWN BY: DAH
DATE: 07/09/25
SCALE: 1" = 40'
APPROVED BY: DAH

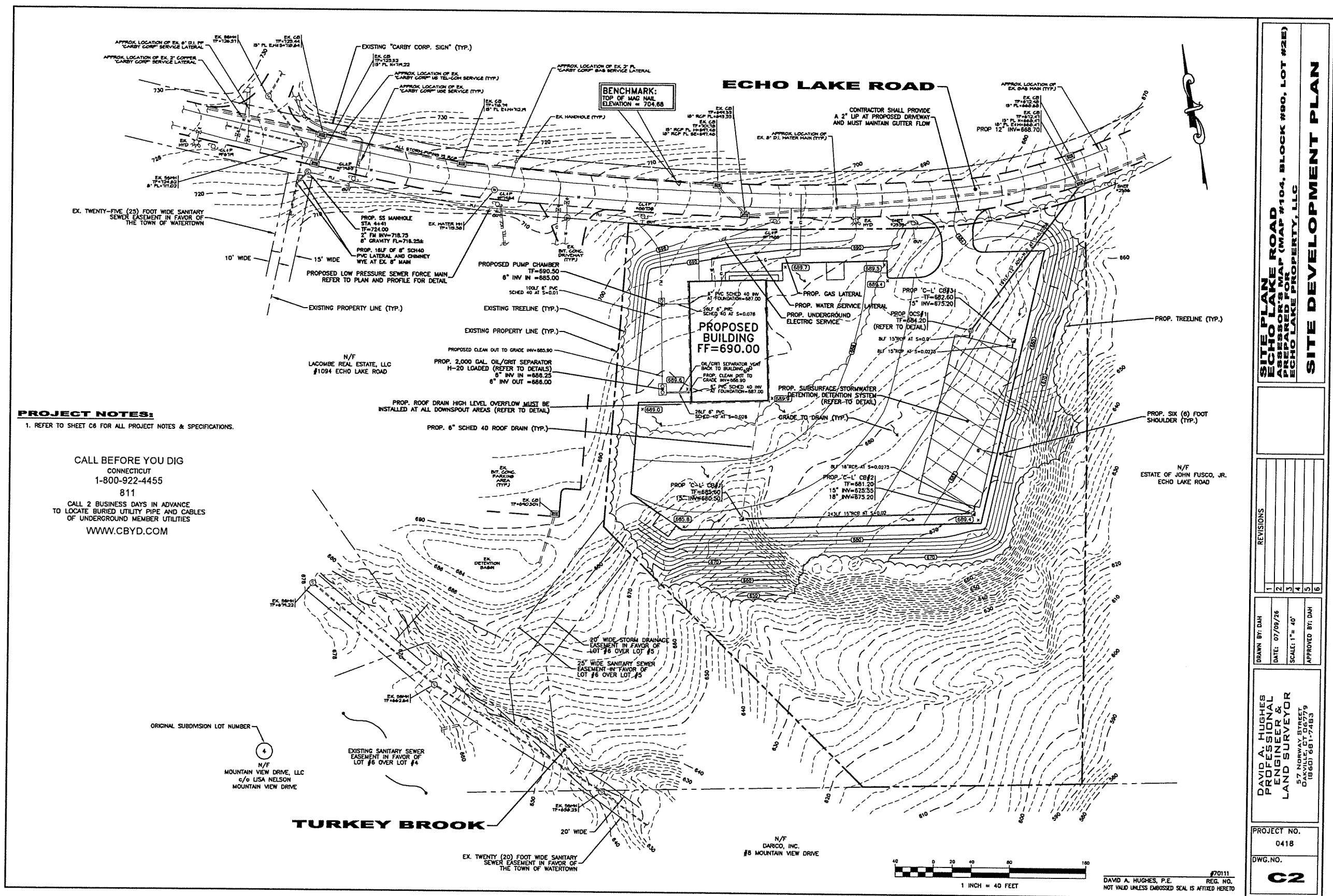
DAVID A. HUGHES
PROFESSIONAL
ENGINEER &
LAND SURVEYOR
57 NORWAY STREET
WATERTOWN, CT 06795
(860) 941-7483

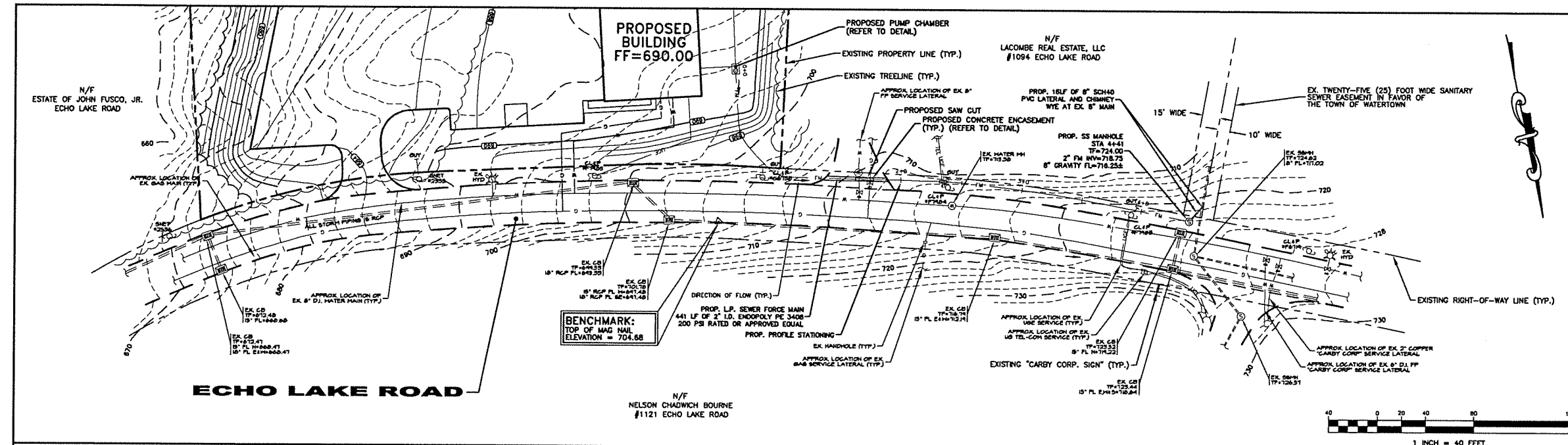
PROJECT NO.
0418

DWG. NO.

C1

DAVID A. HUGHES, P.E.
REG. NO. 70111
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HEREIN

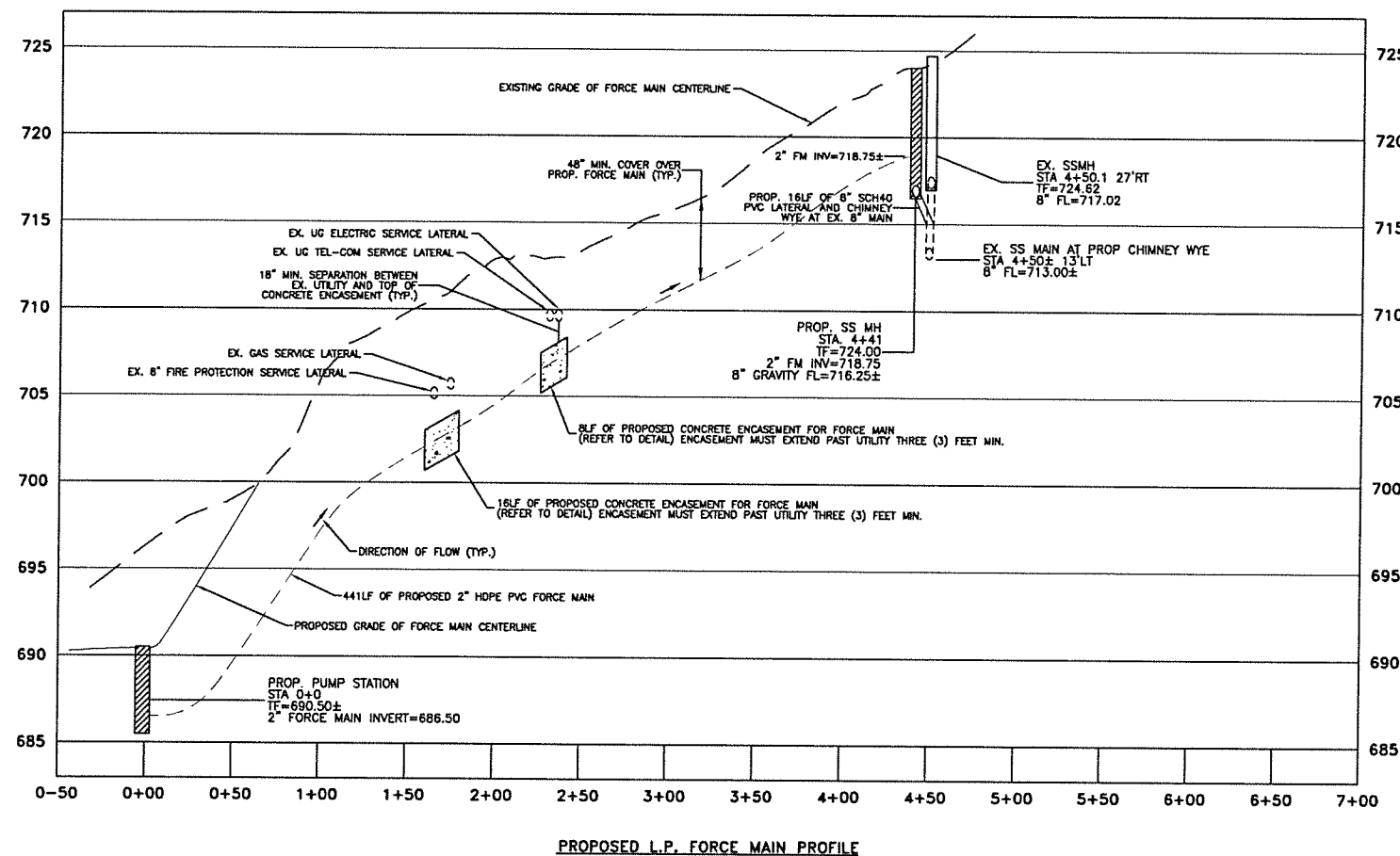




CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. A PRE-CONSTRUCTION MEETING MUST BE ARRANGED WITH THE WATER & SEWER (W&S) DEPARTMENT INSPECTORS BEFORE WORK IS STARTED.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES REQUIRED BY FEDERAL, STATE OR LOCAL AUTHORITIES TO PERFORM THE WORK. PAY ALL FEES IN CONNECTION THEREWITH, AND ABIDE BY ALL REGULATIONS, ORDINANCES, CODES AND OTHER RULES OF SUCH AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH (W&S) DEPARTMENT. THE (W&S) DEPARTMENT MUST BE NOTIFIED FORTY-FOUR (48) HOURS IN ADVANCE OF ANY INSTALLATION OR CONNECTION. THIS CAN BE DONE BY CALLING (860)-945-6256.
5. NO CHANGES ARE TO BE MADE WITHOUT PRIOR (W&S) DEPARTMENT APPROVAL.
6. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD, AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE ENGINEER SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS BY WHICH TO CONSTRUCT. NO ALLOWANCES SHALL BE MADE FOR DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THOSE SHOWN ON THE DRAWINGS.
7. ALL WORK MUST CONFORM TO APPROVED DRAWINGS AND TOWN OF WATERTOWN (W&S) DEPARTMENT STANDARDS.
8. ALL LOW PRESSURE FORCE MAIN SHALL BE 2" INSIDE DIAMETER ENDOPOLY PE 3408, 200 PSI RATED OR APPROVED EQUAL.
9. ALL PRESSURE PIPE SHALL BE INSTALLED WITH A MINIMUM OF FORTY-FOUR (48) INCHES OF COVER AND TO BE LAID WITH NO HIGH OR LOW POINTS, THE PIPING SHALL BE INSTALLED PER THE DETAIL.
10. ALL BURIED PRESSURE PIPE SHALL HAVE TRACING WIRE ATTACHED WITH ZIP TIES AND SHALL RUN DIRECTLY ABOVE THE ENTIRE LENGTH OF PIPING SECTION. TRACING WIRE MUST BE ACCESSIBLE AT THE MANHOLE COVER OF THE PUMP CHAMBER AND SEWER MANHOLE.
11. ALL WORK MUST BE PERFORMED BY A CONTRACTOR WITH A "P1" PLUMBING LICENSE.
12. ALL WORK MUST BE CONDUCTED WITHIN THE "RIGHT-OF-WAY", UNLESS PERMISSION FOR LACOMBE REAL ESTATE, LLC IS GRANTED TO WORK ON THEIR PROPERTY.
13. A FINAL "A-Z" AS-BUILT SURVEY PERFORMED BY A LICENSED LAND SURVEYOR MUST BE PROVIDED TO WATERTOWN (W&S) DEPARTMENT, PRIOR TO FINAL APPROVAL.

PROFILE SCALES
HORIZONTAL: 1"=40'
VERTICAL: 1"=4'



PROPOSED L.P. FORCE MAIN PROFILE

SITE PLAN ECHO LAKE ROAD
SEE MAP #104, BLOCK #80, LOT #2E)
PREPARED BY:
ECHO LAKE PROPERTY, LLC
PROPOSED FORCE MAIN
PLAN & PROFILE

REVISIONS					
1					
2					
3					
4					
5					
6					

DRAWN BY: DAH
DATE: 07/09/26
SCALE AS NOTED
APPROVED BY: DAH

DAVID A. HUGHES
PROFESSIONAL
ENGINEER &
LAND SURVEYOR
57 NORWAY STREET
CHESHAM, CT 06012
(860) 881-7482

PROJECT NO.
0418

DWG. NO.
C3

DAVID A. HUGHES, P.E.
REG. NO. 070111
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE:

A. PROJECT INFORMATION

1. Project Description - The project site is located in eastern Waterbury on the south side of Echo Lake Road. Access to the 4.68 acre site is from Echo Lake Road. The current proposal is to build a new 10,000 SF building for a Construction Contractor Facility. Also proposed is a parking area, landscaping, site lighting, sanitary sewer, water and gas service laterals and associated storm water management.
2. Area of Site - 4.68 Acres
3. Anticipated Disturbance Due to Construction Activities - 3.80 Acres
4. Phases of Development - The estimated phases of construction have been detailed in the sequence of construction.
5. Estimated Start Date of Construction - Fall 2026.
6. Estimated Construction Completion Date - Fall 2030.

B. SEQUENCE OF CONSTRUCTION

The tentative sequence of construction events are as follows and activities noted by a "Capital Letter" may occur concurrently.

1. Conduct a preconstruction meeting with the OWNER, Contractor, Consultant Team, and Local, County and State agencies having jurisdiction over the project.
2. Field stakeout the limits of all activities and install, at a minimum, a snow fence along construction limit lines along environmentally sensitive and tree protection areas. Silt fencing may be substituted where it coincides with this line, but only as approved by the OWNER. (A)

3. Install silt fence along all sides contiguous to wetlands, watercourses and property owned by others affected by the work. Refer to the Soil Erosion and Sedimentation Control Plan for locations. (A)

4. After each rain storm monitor the sedimentation and erosion control structures, which may include silt fences, sediment basins, plunge pools, etc. Routinely remove sediment during construction when controls exceed one half (1/2) inch capacity; sediment shall be disposed of in an environmentally acceptable manner at an approved location. (A)

5. Clear vegetation within project limits, except trees designated to remain or in question, as shown on the plans. The decision of how questionable trees are to be treated shall rest with the OWNER and coordinated through the local agency having jurisdiction as construction progresses. All trees and shrubs less than 6" in diameter, and not to remain, shall be chipped and stored on site for mulch. (A)

6. Remove stumps and dispose of all bulky waste site approved by the ENGINEER and local official having jurisdiction. Dispose of stumps within burial pits on-site shall be prohibited. (B)

7. Construct all temporary sedimentation and erosion control structures, including but not limited to: Sedimentation Basins, silt fences, check dams and water breaks. All structures and their locations shall be approved by the ENGINEER prior to the next phase of construction. (B)

8. Strip topsoil and subsoil materials as required and stockpile them at locations that will not adversely impact any down gradient wetlands. Stockpiles may be relocated to meet job conditions but are subject to the ENGINEER'S approval. Provide temporary erosion controls on the downside slopes of all stockpiles. (B)

9. Bring proposed site entrance surface areas to rough subgrade.

10. Install a six inch (6") deep crushed stone anti-tracking pad on detailed and dimensioned on the drawings. At the end of each working day or as required, accumulated soil is to be swept from existing streets. (B)

11. Conduct all rough cuts and fills for buildings, parking areas, utilities, and landscaped areas. Making sure that all fill material is free of brush, rubbish, large boulders, logs, stumps and other objectionable materials. (C)

12. If blasting is required for any cuts, all proposed work is to be coordinated with all local officials having jurisdiction. The contractor is required to secure a permit for blasting operations in accordance with local and state regulations and conduct a pre-blast survey of surrounding properties. Rock spoil is to be disposed of in an appropriate manner as the site plan may show or is locally permitted. (C)

13. Provide temporary seeding measures on all exposed soil which were damaged due to construction activities, are outside of construction traffic zones, and not to be permanently restored or for a period in excess of thirty (30) days. Seeding and seedbed preparation are as specified herein or as indicated on the landscape plan. (C)

14. Excavate for and construct building foundations. (C)

15. Excavate for and install storm drainage and sewage systems. Install hydrologic sediment barriers at all catch basins locations. (C)

16. Bring proposed parking areas to pavement subgrade with clean fill, then processed gravel, install binder course and curing. Refer to details. (D)

17. Construct all site entrance improvements as indicated on plans. (E)

18. Complete final subgrading for all graded and landscaped areas. Prepare subgrades for placing a minimum of six inches of topsoil. Place topsoil only when permanent seeding and landscaping can follow within a reasonable time frame. (E)

19. Exercise final landscaping plan and permanent seeding to provide long-term stabilization. (E)

20. Complete final paving with top course and point surfaces with pavement markings. (E)

21. Clean and remove all fill from within drainage structures and dispose of materials in an environmentally acceptable manner. (F)

22. Remove temporary measures once permanent measures have matured as approved by the Municipality's enforcement officer. (F)

23. Conduct final inspection with Municipality to identify deficiencies and establish punch list; complete same to the satisfaction of the Municipality.

24. Construction Staging:

- a. Stage #1 - Rough grade site, stabilize steep slopes. Construct building.
- b. Stage #2 - Install subsurface stormwater and sewage systems and install underground utilities.
- c. Stage #3 - Complete building, finish grade site, install sidewalks and pavement, complete landscaping.

C. REGULATORY COMPLIANCE

1. The CONTRACTOR of record or its agent shall be responsible for registering the project with the CIDEP for "Discharge of Stormwater and Developing Wastewaters" per Section 22a-430a of the Connecticut General Statutes whenever five acres or more of accumulated materials will occur with the parcel's boundaries.
2. The CONTRACTOR shall be responsible for retaining a licensed Professional Engineer or Certified Soil Erosion & Sediment Control Specialist to inspect the site periodically in accordance with CIDEP guidelines. Monitoring reports shall be prepared and filed with the OWNER, contractor and inland-Wetland office of the City of New Haven.

D. RESPONSIBILITY

1. The responsibility for implementing and maintaining the Soil Erosion and Sedimentation Control Plan rests with the CONTRACTOR, where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the CONTRACTOR shall be held responsible for informing all concerned regarding responsibility of the SE&S plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage erosion and sedimentation control measures will therefore rest with the CONTRACTOR.
2. The CONTRACTOR shall be responsible for controlling dust and debris on the surrounding roadways during construction. Proper safety precautions and equipment must be utilized when working on public roadways and are the CONTRACTOR'S responsibility to provide.

3. Whenever sedimentation is caused by stripping vegetation and/or grading, it shall be the responsibility of the person, corporation or other entity having responsibility to remove sedimentation from all lower properties, drainage systems and watercourses and to repair any damage at their expense as quickly as possible.

4. Maintenance of all drainage facilities and watercourses within any subdivision or land development shall be the responsibility of the OWNER OF RECORD until they are accepted by the Municipality. All control measures will be maintained in effective condition throughout the project period. Surface water shall be kept open and free of sediment and debris. The system shall be checked after every major storm and sediment shall be disposed of in an environmentally acceptable manner at an approved location consistent with the plan.

5. Maintenance of drainage facilities or watercourses adjoining and completely on private property shall be the responsibility of the OWNER to their point of open discharge at the property line or at a communal watercourse within the property.

6. No person, corporation or other entity shall block, impede the flow of air, water, vegetation or structure from the site. The contractor shall be responsible for effects normal or flood flow in any communal stream or watercourse without having obtained prior approval from the Municipality.

A. INTRODUCTION

1. The primary function of erosion and sedimentation control management is to absorb stormwater energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area (a wetlands or watercourse). Soil erosion and sedimentation control principles are all formulated on the premise that it is easier, cheaper and less environmentally damaging to reduce soil detachment at the first place than it is to control its transport and deposition or to remediate the damage after it occurs. Therefore, a comprehensive soil erosion and sedimentation control plan has been prepared for the project utilizing both temporary and permanent devices to minimize impacts. The plan is based on the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, 2004 Stormwater Quality Manual, as amended and that of the Department of Environmental Protection General Permit for Stormwater.

B. PRINCIPLES FOR SOIL EROSION AND SEDIMENT CONTROL

1. Control erosion at its source with temporary control structures, minimize the runoff from areas of disturbance, and disperse and distribute stormwater runoff through natural vegetation before discharge to critical zones such as streams or wetlands.
2. Keep land disturbances to a minimum - The more land that is kept in vegetative cover, the more water will infiltrate the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbances to a minimum not only minimizes the extent of exposure at any one time, but also the duration of exposure. This design approach minimizes the required earthwork, thereby lowering the erosion potential.
3. Time grading and construction to minimize soil exposure - The development is to be phased to minimize the extent of cleared soil at any particular time. Within the scheduled phasing, only areas under active construction will be exposed. Residential lots, for example, will remain undisturbed until actual construction of the house is to begin.
4. Retain existing vegetation wherever feasible - Silt fencing and in some cases construction fence fencing will be used to physically define the limit of work, thereby protecting and preserving existing vegetation from the act of construction.
5. Stabilize disturbed or unstable areas as soon as possible - In areas where work is not expected to occur for one (1) to twelve (12) months, soil stabilization by temporary seeding or mulching must be done within seven (7) days of the suspended clearing or excavation/grading operation.
6. Minimize the length and steepness of slopes - The project has engineered the steepness and length of slopes to minimize runoff velocities and to control concentrated flow. Where concentrated flow from exposed surfaces is expected to be greater than three feet per second, hay bales or stone check dams will be installed in the area. The check dams will be placed so that unchecked flow lengths will not be greater than 100 feet.
7. Maintain low runoff velocities - To protect disturbed areas from stormwater runoff, hay bales and/or soil diversion berms will be installed wherever runoff is likely to traverse newly exposed soil. Immediately following the clearing and stripping of topsoil, rough grading for the post-construction access will take place. The access will direct runoff so that it can be checked or impounded. Stormwater outlets will be designed to reduce velocities and dissipate energy.
8. Trap sediment on-site and prior to reaching critical areas such as wetlands - Silt fences, hay bale check dams, filter strips, sediment traps, and catch basin filters will be used to either impound sediment-laden runoff or to filter the runoff as it flows through an area. Reference is made to the Soil Erosion and Sediment Control Plan for location of all fences, hay bales, etc.
9. Stabilized construction entrances will be installed to prevent construction vehicles from tracking sediment onto off-site roadways. All temporary erosion control devices will be installed prior to the commencement of construction.
10. Establish a thorough maintenance and repair program - Soil Erosion and Sediment Control measures will be inspected at least once weekly and within twenty four (24) hours of the end of a storm with rainfall amount of 1/2 inch or greater, and maintained and/or repaired as needed to ensure proper function.
11. Assign responsibility for the maintenance program - The responsibility for the maintenance program will be assigned to the contractor who shall designate one of its supervisory personnel to be the liaison to the Owner's representative. The Owner will retain the services of a licensed professional who will inspect and monitor the contractor's methods and have the authority to require modifications to the SE&S controls. The Municipality will be copied on all inspection reports prepared on behalf of the project.

SOIL EROSION AND SEDIMENT CONTROL FUNCTIONAL GROUPS AND MEASURES:

5-2 PRESERVE AND CONSERVE SOIL

TO - TOP SOILING

1. Definition
The application of topsoil to promote the growth of vegetation following the establishment of final grades.
2. Purpose
To provide a suitable growth medium for final site stabilization with vegetation.
3. Applicability
Where the texture, pH, or nutrient balance of the available soil (sands, gravels or other unconsolidated materials) cannot be modified by reasonable means to provide an adequate growth medium.

4. Planning Considerations
Where the existing soil material is too shallow to provide an adequate root zone and to supply necessary moisture and nutrients for plant growth.

5. Installation Requirements
Where high quality turf is desirable to prevent erosion and withstand intensive use and/or meet aesthetic requirements.

6. Maintenance
Where extensive filling and cutting of slopes has occurred. Only on slopes no steeper than 2:1.

7. Specifications
The side slopes of all stockpiles shall not exceed 2:1. Install a sediment barrier down slope to trap sediments eroding from the stockpile. Stabilize the stockpiled material if it is to remain for a period of 30 days or longer (see Temporary Soil Protection, Temporary Seeding, Permanent Seeding, and Mulch for Seed measures for application timing requirements).

8. Application of Topsoil
Site Preparation: Install and/or repair erosion and sediment control measures such as diversions, grade stabilization structures, waterways, silt fence and sediment basins before topsoiling. Maintain these measures during topsoiling.

9. Banding
After bringing the subsoil to grade (and immediately prior to topsoiling) any structural material (drainage or culvert) or tracking to a depth of at least 4 inches to ensure bonding of the topsoil and subsoil. For a tracking description, see Surface Roughening measure.

10. Applying Topsoil
Distribute the topsoil uniformly to a minimum depth of 4 inches. Maintain open areas, when spreading topsoil. Correct any irregularities in the surface resulting from topsoiling or other operations in order to prevent the formation of depressions or water pockets.

11. Haul
Do not place topsoil if the subgrade or the topsoil is frozen or excessively wet.

12. Ensure good contact with the underlying soil and obtain a uniform firm seedbed for the establishment of vegetation. Avoid excessive compaction as it increases runoff velocity and volume, and inhibits seed germination.

13. Liming
Where the pH of the subsoil is 6.0 or less, ground agricultural limestone shall be spread in accordance with the soil test to attain a pH of 6.0 to 6.5, or to attain a pH as required by the vegetative establishment practice being used.

14. Maintenance
Inspect and maintain in accordance with the surface protection measure(s) used.

LG - LAND GRADING

1. Definition
Reshaping of the ground surface by excavation or filling or both, to obtain planned grades.
2. Purpose
To control surface runoff and reduce erosion potential. To prepare for the establishment of a vegetative cover on those areas where the existing land surface is to be reshaped by grading.
3. Applicability
Where grading to planned elevations is practical for the purposes set forth above. On slopes no steeper than 2:1. For slopes steeper than 2:1, use the slope stabilization measures in the Stabilization Structures Functional Group, does not apply to bedrock cuts or faces.
4. Maintenance
Inspect and maintain all erosion and sediment measures implemented during land grading operations according to their respective requirements.

DC - DUST CONTROL

1. Definition
The control of dust on construction sites, construction roads and other areas where dust is generated.
2. Purpose
To prevent the movement of dust from exposed soil surfaces, which may cause both off-site and on-site health hazard to humans, wildlife and plant life, or create a safety hazard by reducing traffic visibility.
3. Applicability
On unstable soils subject to construction traffic. Where unstable soils are located on hill tops or long reaches of open ground and can be exposed to high winds.
4. Specifications
Mechanical Sweeping Use mechanical sweeping on paved areas where dust and fine materials accumulate as a result of truck traffic, pavement saw cutting, bulldozing, and wind or water deposition from adjacent disturbed areas. Sweep daily in heavily trafficked areas, water periodically to maintain exposed soil surfaces on unpaved travelways and to keep the travelway damp.
5. Maintenance
Repeat application of dust control measures when fugitive dust becomes evident.

5-3 VEGETATIVE SOIL COVER

PS - PERMANENT SEEDING

1. Definition
Establishment of permanent vegetative cover on exposed soils where perennial vegetation is needed for long term protection.
2. Purpose
To permanently stabilize the soil, to reduce damages from sediment and runoff and to enhance the environment.
3. Applicability
On exposed soils that have a potential for producing sediment and causing on or off-site damage.

4. Planning Considerations
Provisions shall be made for surface and subsurface drainage, as needed, and for disposal of runoff without causing erosion. Facilities may include diversions, grade stabilization structures, stream bank stabilization or waterways. Consider establishing permanent seeding in slopes.

5. Installation Requirements
Site Preparation - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance. All grading should be done in accordance with the measure for Land Grading.

6. Seeding
Apply limestone and fertilizer according to soil tests such as those offered by the University of Connecticut Soil Testing Laboratory. Soil sample materials are available from the local Cooperative Extension Service Office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet using 10-10-10 or equivalent. In addition, 300 pounds of 38-0-0 per acre or equivalent of slow release nitrogen may be used for topdressing. Apply ground limestone (equivalent to 50 percent calcium plus magnesium oxide) or follow.

7. Soil Texture
Tons/Ac. Lbs./1000 sq. ft.
Clay, day loam and high 4 100
Organic soil 3 133
Sandy loam, loam, silt loam 2 90
Loamy sand, sand 2 90

8. Refer to county soil survey report for soil textures at the site.

9. Work time and fertilizer in the soil as nearly as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing or disking operation should be on the final general contour. Continue a stage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.

10. Remove the surface soil stones two inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, pieces of concrete, debris, lumber or other unsuitable material.

11. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retiled and firmed as above.

12. Seeding Dates
Spring seedings usually give the best results. Spring seedings of all seed mixes with legumes is recommended, however late summer seedings prior to September 15 can be made. When crown vetch is seeded in late summer at least 35 percent of the seed should be hard seed (uncoated). The recommended seeding dates are:

13. April 15 through June 15
August 15 through September 15

14. With the exception of crown vetch, the final seeding date may be extended 15 days in the coastal towns of New London, Middletown, New Haven and Fairfield counties.

15. Select a mixture from reference page 5-3-8 thru 11 or use mixture recommended by the Soil Conservation Service. Incubate all legume seed with the correct type and amount of inoculant.

16. Apply seed uniformly by hand, cyclone spreader, drill, catpucker type seeder or hydroseeder (slurry including seed and fertilizer). Normal seeding depth is from 1/4 to 1/2 inch. Hydroseeding when the mulches may be left on soil surface.

17. Where feasible, except where either a catpucker type seeder or hydroseeder is used, the seedbed should be firmed following seeding operations with a roller, or light drag. Seeding operations should be on the contour.

5-11 SEDIMENT IMPOUNDMENTS, BARRIERS AND FILTERS

HB - HAY BALE BARRIER

1. Definition
A temporary barrier installed across or at the toe of a slope.
2. Purpose
To intercept and retain small amounts of sediment from disturbed or unprotected areas of limited extent.
3. Applicability
The sediment barrier is used where:
Sedimentation can pollute or degrade adjacent wetland and/or watercourses. Sedimentation will reduce the capacity of storm drainage systems or adversely affect adjacent areas. Contributing drainage area is less than 1 acre and the length of slope above the barrier is less than 150 feet. If the slope length is greater, other measures such as diversions may be necessary to reduce slope length.

4. Design Criteria
Catch Basin Application Bales shall be placed in a square or rectangular shape around depressed catch basin inlets. Catch basins constructed on slope areas shall not be encircled by bales. The area immediately around the catch basin may be excavated slightly to increase ponding of runoff water around catch basins. The remaining slope for installing a bale barrier for sheet flow applications apply here.

5. Maintenance
Inspection shall be made after each storm event and repair or replacement shall be made promptly as needed. Cleanup of accumulated sediment behind the bales is necessary if 1/2 of the original height of the bales becomes filled in with sediment.

6. MULCH MATS / EROSION CONTROL LOG
1. Definition
A temporary barrier installed across or at the toe of a slope.
2. Purpose
To intercept and retain small amounts of sediment from disturbed or unprotected areas of limited extent.
3. Applicability
The sediment barrier is used where:
Sedimentation can pollute or degrade adjacent wetland and/or watercourses. Sedimentation will reduce the capacity of storm drainage systems or adversely affect adjacent areas. Contributing drainage area is less than 1 acre and the length of slope above the barrier is less than 150 feet. If the slope length is greater, other measures such as diversions may be necessary to reduce slope length.

4. Design Criteria
Catch Basin Application Mats or Logs shall be placed in a square or rectangular shape around depressed catch basin inlets. Catch basins constructed on slope areas shall not be encircled by mats or logs. The area immediately around the catch basin may be excavated slightly to increase ponding of runoff water around catch basins. The remaining slope for installing a mat or log for sheet flow applications apply here.

5. Maintenance
Inspection shall be made after each storm event and repair or replacement shall be made promptly as needed. Cleanup of accumulated sediment behind the bales is necessary if half (1/2) of the original height of the bales becomes filled in with sediment.

6. GSF - GEOTEXTILE SILT FENCE
1. Definition
A temporary sediment barrier consisting of a geotextile fabric pulled taut and attached to supporting posts and anchored.
2. Purpose
To intercept and retain small amounts of sediment from disturbed areas. To decrease the velocity of sheet flow and low volume concentrated flows.
3. Applicability
Below small disturbed areas where the contributing drainage area is less than 1 acre and the length of slope above the barrier is less than 150 feet. If the slope length is greater, other measures such as diversions may be necessary to reduce slope length.

4. Installation Requirements
A trench shall be excavated approximately 8 inches wide and 8 inches deep along the line of posts and upstream from the barrier in accordance with manufacturer's recommendations. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upstream side of the posts using heavy duty wire staples at least 1 inch long, the wire or hog rings. The side shall extend into the trench a minimum of 2 inches and shall not extend more than 36 inches above the original ground surface.

5. The standard strength filter fabric shall be stapled, wired or tied to the wire fence and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

6. Maintenance
Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately. Should the fabric decompose or become ineffective prior to the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly. Sediment deposits should be removed when they reach approximately one-half the height of the barrier. Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

7. 5-12 TIRE TRACKED SOILS
CE - CONSTRUCTION ENTRANCE
1. Definition
A stone stabilized pad sometimes associated with a mud rack, alternative spray, or other measures located at points of vehicular ingress and egress on a construction site.
2. Purpose
To reduce the tracking of sediment off site onto paved surfaces.
3. Applicability
At points of construction vehicle ingress and egress where sediment may be tracked onto adjoining paved surfaces by vehicles.
4. Specifications
Locate the entrances to provide maximum utilization by construction vehicles. Avoid poorly drained soils, where possible.
5. Maintenance
Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed, immediately remove all sediment applied, dropped, washed or tracked onto paved surfaces. Remove sediment from construction site shall be left clean at the end of each day. If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and expedient settling area or similar devices before the vehicle enters a paved surface.

SITE PLAN
ECHO LAKE ROAD
WATERBURY, CT
REVISIONS
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6
DAVID A. HUGHES
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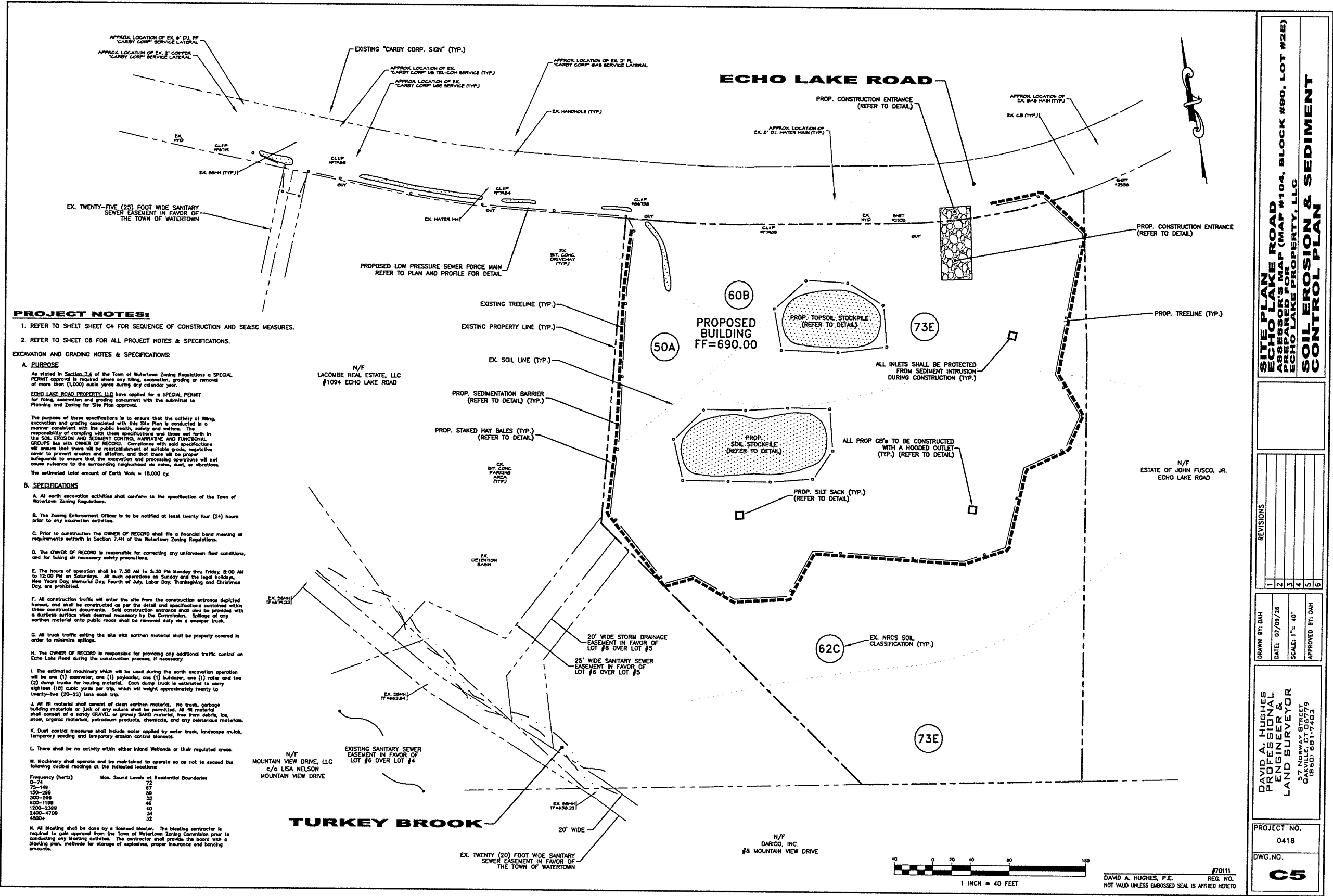
PROJECT NO.
0418
DWG. NO.
C4

REVISIONS
1
2
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DRAWN BY: DAH
DATE: 07/09/26
SCALE: AS NOTED
APPROVED BY: DAH

DAVID A. HUGHES
PROFESSIONAL
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PROJECT NO.
0418
DWG. NO.
C4



CONSTRUCTION SPECIFICATIONS AND STANDARDS:

A. MANHOLES, CATCH BASINS AND STRUCTURES:

1. Catch basins and manholes shall be constructed of close "A" concrete, precast/precast sections in accordance with ASTM C-140, latest revised edition. The minimum compressive strength shall be 4,000 psi. Structures can be constructed in the field at the contractor's option if built in accordance with the standard specifications and drawings. Leveling courses may be constructed to insure that the frame meets the proposed grade at the design gradient, to a maximum of twelve inches (12"). A maximum two inch (2") thick layer of mortar may also be used to adjust the top slab. The cost of the welded wire fabric and bar reinforcement shall be included in the price bid for manhole(s) and catch basins.
2. All catch basins shall be CONECTOUT STATE HIGHWAY DEPARTMENT STANDARD TYPE "C" blumhouse curved unless otherwise specified.
3. All proposed catch basins shall have a minimum of two foot (2') turps below the invert of the outlet pipe to trap silt and sand from roads or parking areas, except as otherwise specified on the drawings.
4. Manholes shall have concrete aprons and inverts constructed to one-half the diameter of the outlet pipe with aprons sloped to drain.
5. Manhole steps will be required in all manholes deeper than four feet (4'). Spacing will be twelve inches (12") center to center with the top rung within a minimum of two feet (2') to the top of frame and cover and lower rung within eighteen inches (18") of the apron. The steps shall be ALCOA #6005-15, drop front design, or a composite polypropylene conforming to ASTM 2146, type 11, grade 43758 with a grade 60, half inch (1/2") steel rod or an approved equal.
6. Provide a minimum of six inches (6") of gravel bedding under all catch basins, manholes, outlet structures and concrete galleys in earth and twelve inches (12") for rock excavations.
7. Knockout panels, slabs and/or manhole drops and accommodating invert channels shall be constructed to meet the line and grade of future construction, as required. Note flow and lateral future connections shall be welded clipped or plugged for water tightness. Contractor to provide a 1/2 inch metal rod at the end of each square plate top placed four inches below grade at the end of all exposed utilities.
8. The contractor may elect to interchange rectangular manholes for circular manholes with the engineer's approval. The size substituted thereof shall be determined by the engineer. The cost of the new structure shall be the same cost bid per vertical lineal foot on the original structure. Shop drawings shall be submitted to the engineer for review.
9. Frames and grates for yard drains shall be Campbell Foundry pattern #4127.
10. All head walls shall be Wing Type Endwalls as detailed by The Connecticut D.O.T. Standard Specifications and drawings, and as manufactured by Connecticut Precast Corp. Manure CT or approved equal.

B. STORM SEWER PIPES:

1. All R.C.P. Storm Sewer Drainage Pipe specified shall be rubber gasketed, CLASS IV in streets and Class V in unimproved areas, except fifteen inch (15") catch basin laterals shall be CLASS V, or approved equal.
2. All 12"-24" smooth wall interior Corrugated Plastic Pipe (C.P.P.) specified shall be HANCON HI-Q Sure-Lok 10.8 heavy duty high density polyethylene pipe as manufactured by HANCON, Inc., or approved equal. The pipe shall meet the requirements of AASHTO M294 Type S, have an annular corrugated exterior.
3. All 30" and 36" smooth wall interior Corrugated Plastic Pipe (C.P.P.) specified shall be HANCON HI-Q Sure-Lok 10.8 heavy duty high density polyethylene pipe as manufactured by HANCON, Inc., or approved equal. The pipe shall meet the requirements of AASHTO M294 Type S, and have an annular corrugated exterior.
4. All 42" and 48" smooth wall interior Corrugated Plastic Pipe (C.P.P.) specified shall be HANCON HI-Q Sure-Lok 10.8 heavy duty high density polyethylene pipe as manufactured by HANCON, Inc., or approved equal. The pipe shall meet the requirements of AASHTO M294 Type S, and have an annular corrugated exterior.
5. All 12"-24" annular-corrugated interior Corrugated Plastic Pipe (C.P.P.) specified shall be HANCON HI-Q Sure-Lok 10.8 heavy duty high density polyethylene pipe as manufactured by HANCON, Inc., or approved equal. The pipe shall meet the requirements of AASHTO M294 Type C, and have an annular corrugated interior and exterior.
6. All curtain drain pipe shall be six inch (6") perforated corrugated polyethylene tubing conforming to AASHTO M38 Class I heavy duty type, minimum slots 1/4" clear opening, except as otherwise shown on the plans, and shall exit to a gravel lined drainage swale or drainage structure. All aggregate for underdrain shall be washed size as specified.
7. Pipe lengths for the storm drainage system are measured from centerline of structure to centerline of structure with the exception of forced ends which are measured from the outer most edge.
8. Pipe inverts for storm drainage structures are measured at their centerline, while inverts for forced ends measured at their outer most edge.
9. All piping shall be founded on a stone bedding in CLASS "B" and "C" trench installations for either earth or rock excavations, unless otherwise directed by the engineer. Refer to details.
10. All pipe backfill shall be placed in compacted eight inch (8") max. lifts to an AASHTO T-99 density of 95.
11. Pipes shall be cut flush to the inside walls of all structures. Openings (it knockouts) shall be mortared tight with a non-shrink grout. Concrete inverts and aprons shall be constructed to one-half the diameter of the existing pipe within manholes. Aprons shall slope to drain. Smaller pipe sizes entering structures shall, at a minimum, match the crown of the outgoing pipe, except as otherwise specified for critical elevations for upstream structures or in the case of significant grade changes.

C. WATER SERVICE LATERAL:

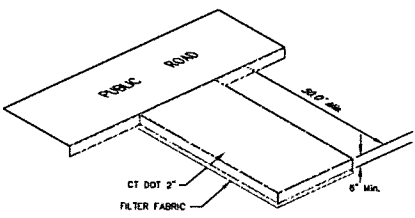
1. All sanitary sewer installations shall be installed in accordance with the Town of Waterbury Water and Sewer Department requirements.
2. All water main installations shall be installed in accordance with the standard specifications of local water company. The minimum cover over the pipe shall be four feet, six inches (4'-6").
3. All subgrade and backfill materials to be approved by water company prior to placing of facilities.
4. Acceptable results of bacteriological analysis from water samples collected from the new distribution main after disinfection and before use of the mains, shall be submitted to the engineer and water company.
5. Water service laterals to maintain a ten foot (10') minimum horizontal separation or an eight inch (8") minimum vertical separation over sanitary sewers or storm drains. Where both separations cannot be maintained either the sanitary sewer pipe shall be placed in a color to a minimum ten feet (10') horizontal distance from the waterline, or a concrete encasement or cross shall be constructed. Refer to details for type.
6. Water service lines to be "K" copper tubing, sizes as indicated on site plan, unless otherwise specified by the water company.

D. SANITARY SEWER LATERAL:

1. Refer to Sheet C3 for all sanitary sewer notes and specifications.

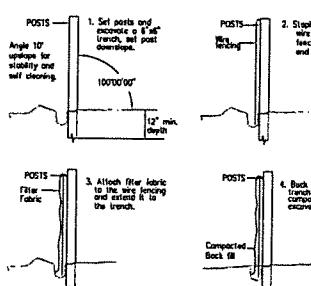
CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. ALL DIMENSIONS ARE IN FEET, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND LICENSES REQUIRED BY FEDERAL, STATE OR LOCAL AUTHORITIES TO PERFORM THE WORK. PAY ALL FEES IN CONNECTION THEREWITH, AND ABIDE BY ALL REGULATIONS, ORDINANCES, CODES AND OTHER RULES OF SUCH AUTHORITIES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL CONDUCT A PRECONSTRUCTION MEETING WITH THE OWNER, CONSULTANT TEAM, AND LOCAL, COUNTY AND STATE AGENCIES HAVING JURISDICTION OVER THE PROJECT.
5. WHERE LAWS AND REGULATIONS OF PUBLIC AUTHORITY PRESCRIBE A HIGHER DEGREE OF PROTECTION THAN SPECIFIED HEREIN, THEN THE HIGHER DEGREE SO PRESCRIBED SHALL GOVERN.
6. ALL CONSTRUCTION MATERIALS, PRACTICES AND PROCEDURES SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND REVISIONS, SUPPLEMENTAL SPECIFICATIONS, AND SPECIAL PROVISIONS, AS AMENDED TO DATE.
7. ALL CONSTRUCTION TRAFFIC MANAGEMENT MATERIALS, PRACTICES AND PROCEDURES SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND TRAFFIC DESIGN MANUAL, AS AMENDED TO DATE.
8. LOCATIONS OF EXISTING UTILITIES HAVE BEEN TAKEN FROM UTILITY MAPS OR BY OTHER MEANS. ACTUAL FIELD LOCATIONS AND ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL UTILITY COMPANIES AFFECTED BY THE WORK ON OR NEAR THE PROJECT AREA SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF THE WORK.
9. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE ENGINEER SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS BY WHICH TO CONSTRUCT. NO ALLOWANCES SHALL BE MADE FOR DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THOSE SHOWN ON THE DRAWINGS.
10. ALL EXISTING UTILITIES TO BE RELOCATED, RESET AND/OR RECONNECTED, IF IN CONFLICT WITH THE PROPOSED WORK ACTIVITIES, SHALL BE MADE AT NO DIRECT PAYMENT TO THE CONTRACTOR BUT SHALL BE INCLUDED IN VARIOUS ITEMS OF WORK UNDER THE CONTRACT.
11. WHERE EXISTING UTILITY PIPES NEED TO BE RELOCATED OR REMOVED BY OTHERS, SUCH WORK SHALL BE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE SPECIFIED BY THE OWNER ON INDICATED ELSEWHERE. THE RELOCATION OF SAME OR REMOVAL THEREOF MAY NOT CONFLICT WITH THE CONTRACTOR'S WORK SCHEDULE AND, THEREFORE, THE CONTRACTOR SHOULD ANTICIPATE IN HIS BID THE COST OF SUCH WORK WITHIN THE PROJECT LIMITS TO PROJECT COMPLETION.
12. ALL EARTHEN FILL MATERIAL SHALL MEET ASTM D 2487 STANDARDS AND SHALL BE CLEAN AND FREE OF ROCK OR GRAVEL LARGER THAN THREE (3") IN ANY DIMENSION. BRUSH, RUBBISH, LARGE BOULDERS, LOGS, STUMPS, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER. ALL EARTHEN FILL MATERIAL SHALL BE FREE OF PETROLEUM, TOXIC OR HAZARDOUS CONTAMINATION.
13. IF LEDGE ROCK IS ENCOUNTERED, ALL PROPOSED WORK IS TO BE COORDINATED WITH THE ENGINEER AND OWNER. ALL LEDGE ROCK MUST BE REMOVED BY MECHANICAL MEANS, RIPPING, HOE RAISING, ETC. BLASTING IS NOT PERMITTED. ROCK SPILL IS TO BE DEPOSED OF IN AN APPROPRIATE MANNER OR IS LOCALLY PERMITTED.
14. UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
15. THE INFORMATION SHOWN ON THE FOLLOWING SHEETS ARE LIMITED TO THE INFORMATION MADE AVAILABLE AT THE TIME OF THE DESIGN SERVICES WERE RENDERED.
16. THE CONTRACTOR SHALL REFER TO THE MANUFACTURER'S CERTIFIED SHOP DRAWINGS FOR EQUIPMENT DIMENSIONS AND MAINTAIN RECOMMENDED MINIMUM HORIZONTAL AND VERTICAL SEPARATION CLEARANCES.
17. BELOW GRADE PRECAST STRUCTURES ARE TO BE CONSTRUCTED TO RESIST HYDROSTATIC UPLIFT BASED ON TOTAL COMPLETION OF THESE STRUCTURES INCLUDING PLACEMENT OF ALL BACKFILL. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN GROUNDWATER LEVEL BELOW REQUIRED CONSTRUCTION.
18. PROVIDE SIX INCH (6") MINIMUM OF CRUSHED STONE OR PIPE BEDDING IN EARTH UNDER ALL STRUCTURES INCLUDING MANHOLES, DRAINAGE STRUCTURES AND RETAINING WALLS, UNLESS DIRECTED BY THE ENGINEER OR AS DETAILD ELSEWHERE IN THE DRAWINGS.
19. THE CONTRACTOR SHALL PROPERLY PROTECT ADJACENT PROPERTY OUTSIDE THE PROJECT LIMITS FROM DAMAGE. ANY DAMAGE TO THE SAME SHALL BE SUBJECT TO REPAIRS BY THE CONTRACTOR WITHOUT COST TO THE OWNER.
20. ALL DRIVEWAYS, ROADS, SIDEWALKS AND YARD AREAS DISTURBED BY CONSTRUCTION IN OR OUTSIDE THE PROJECT AREA SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER, AND SHALL BE GRADED TO MEET PROPOSED FINISHED GRADES. GRAZED AREAS DISTURBED BY CONSTRUCTION SHALL BE LOADED, FERTILIZED AND SEEDED OR SOODED, AS IT APPLIES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE SANITARY SEWER LATERAL THROUGHOUT THE CONSTRUCTION PROCESS.



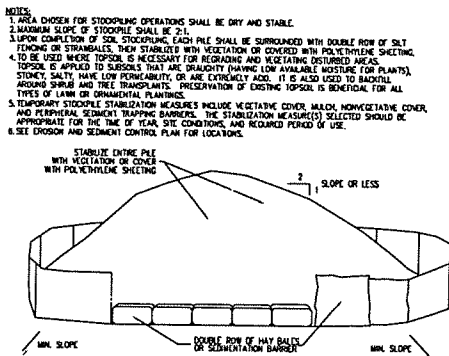
CONSTRUCTION ENTRANCE

N.T.S.



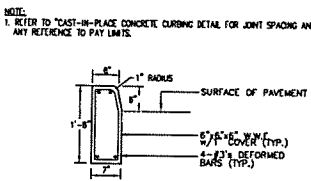
SEDIMENTATION BARRIER DETAIL

N.T.S.



SOIL STOCKPILE DETAIL

N.T.S.

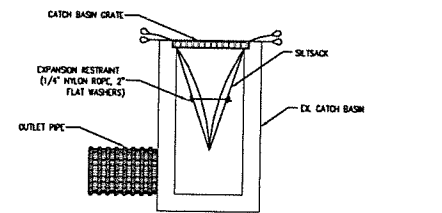


PRECAST CONCRETE CURB DETAIL

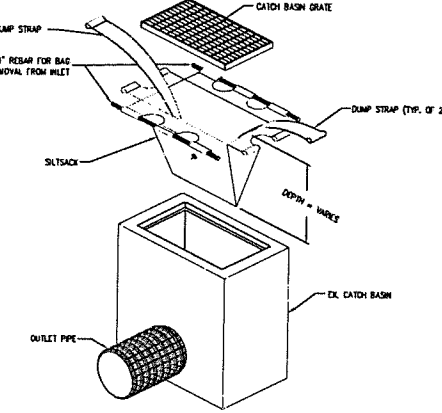
N.T.S.

CONSTRUCTION DETAILS:

- NOTES:
1. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS. SILTSACKS ARE MANUFACTURED BY ACHS INTERNATIONAL (203) 313-8002. APPROVED EQUAL.
 2. CONTRACTOR SHALL MEET THE INSPECTION AND MAINTENANCE REQUIREMENTS SET FORTH IN THE SOIL EXPOSURE AND SEDIMENTATION CONTROL NARRATIVE AND CONTROL MEASURES.

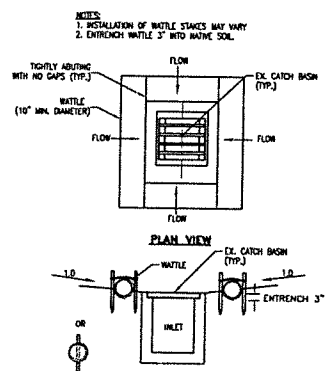


INSTALLATION DETAIL



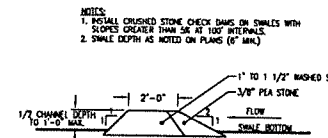
SILTSACK INLET CONTROL DEVICE

N.T.S.



CATCH BASIN WATTLE PROTECTION

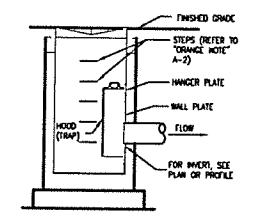
N.T.S.



TYPICAL WASHED STONE CHECK DAM

N.T.S.

- NOTES:
1. CAST IRON HANGER PLATE FURNISHED WITH HOOD (TRAP).
 2. FOR INFORMATION ON HOODED OUTLET (TRAP) ASSEMBLY FOR LARGER PIPE SIZES CONTACT: CAMPBELL FOUNDRY COMPANY ENGINEERING DEPARTMENT.
 3. HOODED OUTLET TO BE USED ON ALL DRAIN AND COMBINATION WELLS.
 4. PATTERN NUMBERS SHOWN REFER TO CAMPBELL FOUNDRY CO.



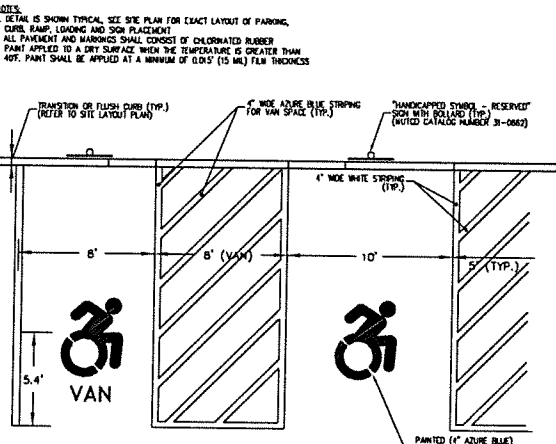
TYPICAL DRAIN INLET

(SEE \"DRAIN INLET\" DETAILS AS APPLICABLE)



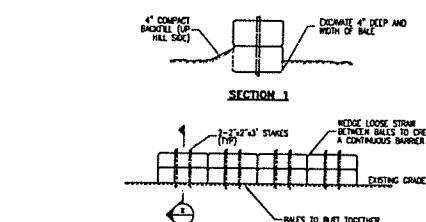
HOODED OUTLET (TRAP)

N.T.S.



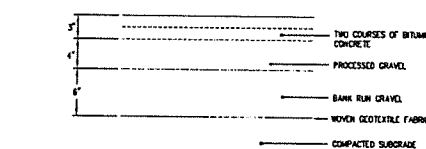
TYPICAL HANDICAPPED PARKING SPACE

N.T.S.



STAKED HAYBALE DETAIL

N.T.S.



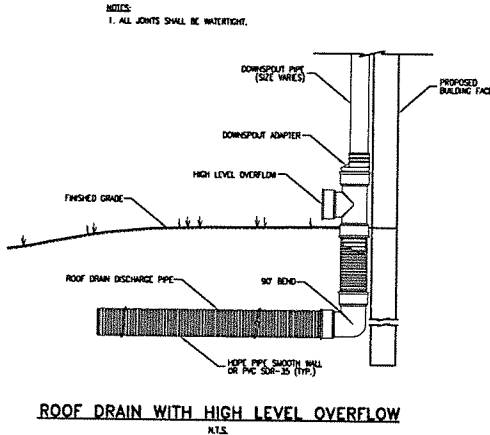
BITUMINOUS CONCRETE PAVEMENT DETAIL

N.T.S.

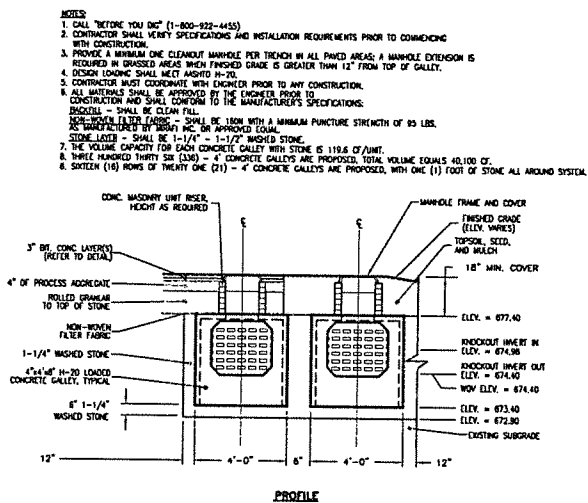
DAVID A. HUGHES, P.E.
REG. NO. 720111
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

SITE PLAN
ECHO LAKE ROAD
REVISIONS
DRAWN BY: DAH
DATE: 07/09/26
SCALE: AS NOTED
APPROVED BY: DAH
DAVID A. HUGHES
PROFESSIONAL
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57 NEWWAY STREET
GROTON, CT 06040
(860) 681-7483
PROJECT NO.
0418
DWG. NO.
C6

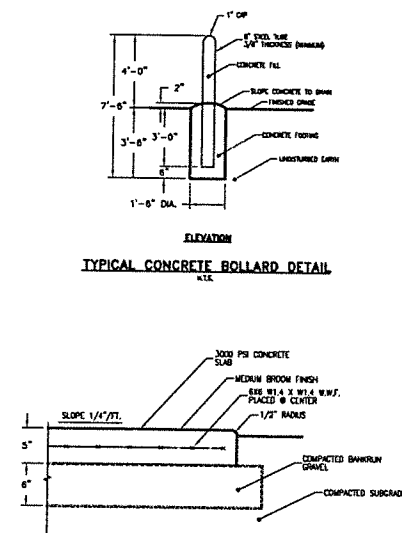
CONSTRUCTION DETAILS:



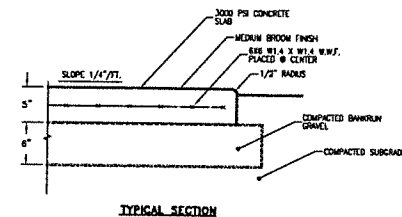
ROOF DRAIN WITH HIGH LEVEL OVERFLOW
KTS



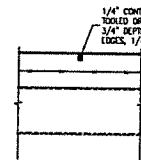
SUB-SURFACE STORMWATER DETENTION SYSTEM



TYPICAL CONCRETE BOLLARD DETAIL

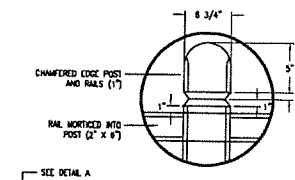


TYPICAL SECTION

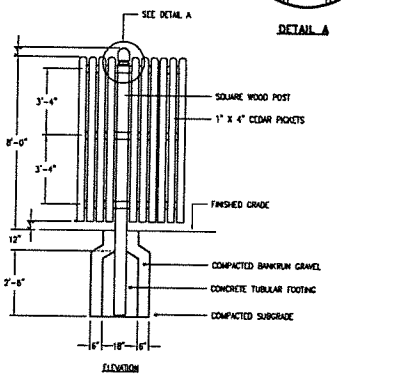


EXPANSION JOINT

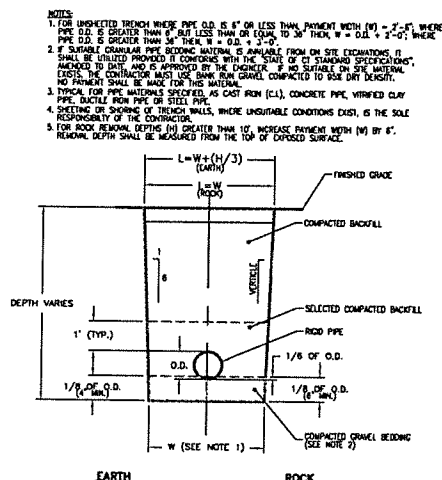
REFUSE CONCRETE SLAB DETAILS



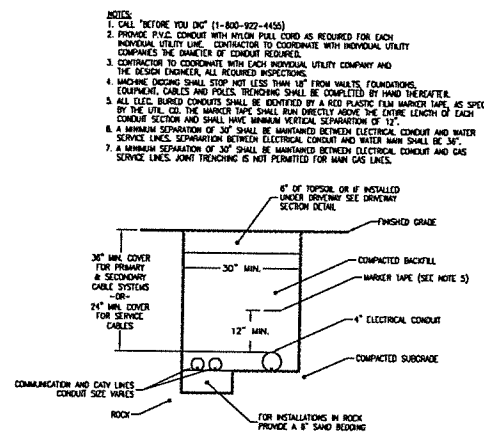
DETAIL A



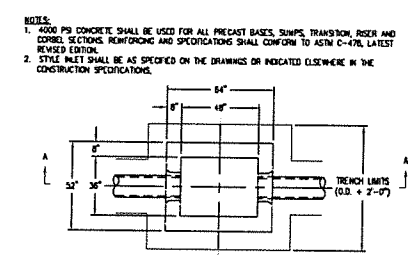
DUMPSTER VINYL FENCE ENCLOSURE



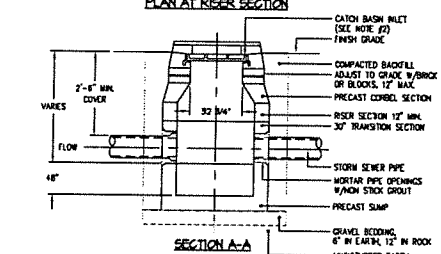
CLASS 'C' TRENCH DETAIL



UTILITY LINE TRENCHING DETAIL



PLAN AT RISER SECTION



PRECAST CONCRETE CATCH BASIN DETAIL

NOTES:

1. FOR UNSTABLE TRENCH WHERE PIPE O.D. IS 6" OR LESS, TAIL PAYMENT WITHIN (W) = $2 \times D$, WHERE PIPE O.D. IS GREATER THAN 6" BUT LESS THAN OR EQUAL TO 36", THEN $W = O.D. \times 2$; IF GREATER THAN 36", THEN $W = 72$.
2. SUSTAINABLE GRANULAR PIPE BEDDING MATERIAL IS AVAILABLE FROM ON SITE EXCAVATIONS IF EXISTING PROVIDED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND TESTING MATERIALS. IT IS ADVISED TO DATE AND IS APPROVED FOR USE BY THE STATE OF CT STANDARD SPECIFICATIONS, SECTION 910.01. CONTRACTOR SHALL USE BANK RUN GRAVEL COMPACTED TO SUE DIRT DENSITY.
3. CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS TO THE TRENCH.
4. TYPICAL FOR PIPE MATERIALS SPECIFIED AS CAST IRON (C.I.), CONCRETE PIPE, WIREMAID CLAY PIPE, DUCTILE IRON PIPE OR STEEL PIPE.
5. SPOILING OR SHORING OF TRENCH WALLS, WHERE UNSUITABLE CONDITIONS EXIST, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. FOR RIGID PIPE, DEPTH MEASURED FROM TOP OF EXPOSED SURFACE TO TOP OF EXPOSED SURFACE BY 6". REMAINING DEPTH SHALL BE MEASURED FROM THE TOP OF EXPOSED SURFACE.

NOTE:

1. CALL "BEFORE YOU DIG" (1-800-822-4558).
2. PROVIDE UTILITY CONDUIT WITH MINIMUM 3" O.D. AS REQUIRED FOR EACH INDIVIDUAL UTILITY LINE. CONTRACTOR TO COORDINATE WITH INDIVIDUAL UTILITY COMPANIES THE DATES OF CONDUIT INSTALLATION.
3. CONTRACTOR TO COORDINATE WITH EACH INDIVIDUAL UTILITY COMPANY AND THE DESIGN ENGINEER, ALL REQUIRED INSPECTIONS.
4. MACHINE DESIGN SHALL SHOW NOT LESS THAN 12" FROM WALLS, FOUNDATIONS, EQUIPMENT, CURBS AND POLES. TRENCHING SHALL BE COMPLETED BY HAND OPERATOR.
5. ALL CLUT, BURIED CONDUITS SHALL BE IDENTIFIED BY A RED PLASTIC FLAG MARKER TYPE, AS SPECIFIED BY THE U.S. CO. THE MARKER DIAL SHALL RUN DIRECTLY ABOVE THE ENTIRE LENGTH OF EACH CONDUIT SECTION AND SHALL HAVE A MINIMUM UTILITY SEPARATION OF 12".
6. A MINIMUM SEPARATION OF 3" SHALL BE MAINTAINED BETWEEN ELECTRICAL CONDUIT AND WATER SERVICE LINES. SEPARATION BETWEEN ELECTRICAL CONDUIT AND WATER MAINS SHALL BE 36".
7. UTILITY SEPARATION SHALL BE MAINTAINED BETWEEN ALL ELECTRICAL CONDUIT AND GAS SERVICE LINES. JOINT TRENCHING IS NOT PERMITTED FOR MAIN GAS LINES.

NOTES:

1. 4000 PSI CONCRETE SHALL BE USED FOR ALL PRECAST BASES, SUMPS, TRANSITION, RISER AND CORREL SECTIONS. REINFORCING AND SPECIFICATIONS SHALL CONFORM TO ASTM C-476, LATEST REVISED EDITION.
2. STYLE INLET SHALL BE AS SPECIFIED ON THE DRAWINGS OR INDICATED ELSEWHERE IN THE CONSTRUCTION SPECIFICATIONS.

DAVID A. HUGHES, P.E. REG. NO. 70111
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

**SITE PLAN
ECHO LAKE ROAD
ASSessor'S MAP (MAP #104, BLOCK #90, LOT #2E)
PREPARED FOR
ECHO LAKE PROPERTY, LLC**

CONSTRUCTION DETAILS

1	REVISIONS
2	
3	
4	
5	
6	

DRAWN BY: DAH
DATE: 07/08/26
SCALE: AS NOTED
APPROVED BY: DAH

DAVID A. HUGHES
PROFESSIONAL
ENGINEER &
LAND SURVEYOR

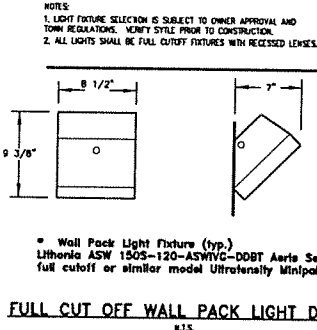
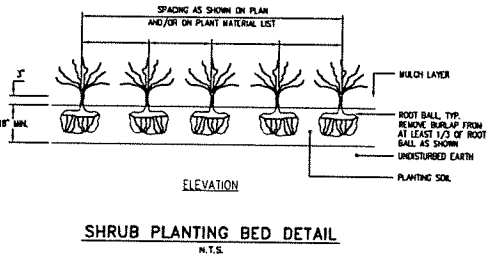
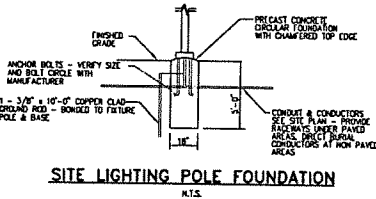
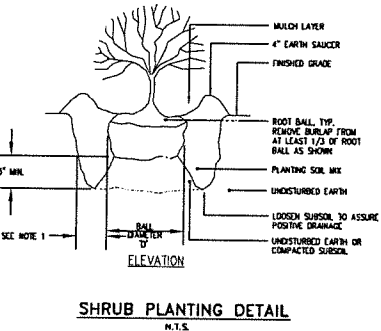
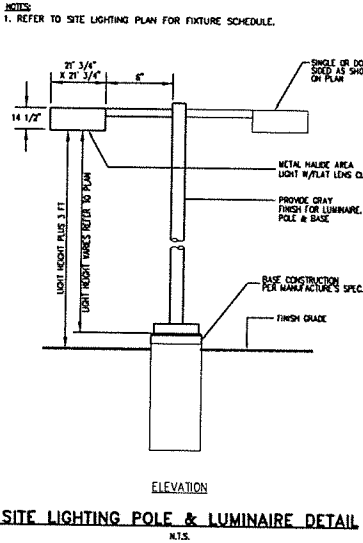
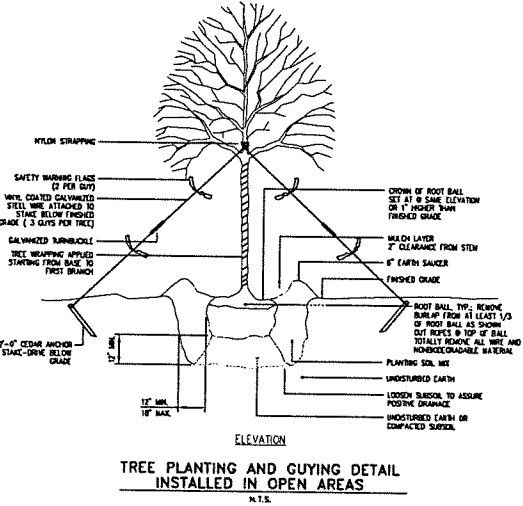
57 NORWAY STREET
OAKVILLE, CT 06779
(860) 681-7483

PROJECT NO.
0418

WG.NO.

C7

CONSTRUCTION DETAILS

[illegible]

**SITE PLAN
ECHO LAKE ROAD
ASSESSOR'S MAP (MAP #104, BLOCK #90, LOT #2E)
PREPARED FOR
ECHO LAKE PROPERTY, LLC
CONSTRUCTION DETAILS**

REVISIONS	

DRAWN BY: DAH
DATE: 07/09/26
SCALE: AS NOTED
APPROVED BY: DAH

DAVID A. HUGHES
PROFESSIONAL
ENGINEER &
AND SURVEYOR

57 NORWAY STREET
OAKVILLE, CT 06779
(860) 681-7483

PROJECT NO.
0418

LANDSCAPE NOTES:

- 1) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN.
- 2) ALL PLANTS AND MATERIALS SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO ARRIVAL ON SITE.
- 3) THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LANDSCAPE WORK OR PLANTING. ANY CONFLICTS WHICH MAY OCCUR BETWEEN PLANTING AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- 4) NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LANDS AGAINST DAMAGE (INCLUDING EXISTING TO REMAIN) FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF THE PLANTING.
- 6) ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.
- 7) THREE (3) INCHES OF BARK MULCH SHALL BE USED AROUND THE TREE AND SHRUB PLANTINGS AS SPECIFIED IN DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB.
- 8) PROVIDE AN APPROVED WEED BARRIER UNDER ALL BARK MULCH.
- 9) PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND ACCEPTANCE, AND SHALL HAVE AT LEAST BOX HEALTHY GROWTH AT THE END OF THE GUARANTEE PERIOD.
- 10) ALL PLANTING SHALL CONFORM TO STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION - LATEST EDITION.

SPECIES SCHEDULE

SYMBOL	NO.	LATIN NAME	COMMON NAME	SIZE
	6	ULMUS AMERICANA	AMERICAN ELM "VALLEY FORGE"	6' HT
	25+	THUJA ORIENTALIS	NORTH POLE ARBORVITAE	6' HT
	5	ILEX CRENATA COMPACTA	HOLLY, COMPACT JAPANESE	#3 CONT.
	12	PENNISETUM ALOPECUROIDES	LITTLE BUNNY	12/18" HT
	3	RHODODENDRUM SPP.	AZALEA, KAREN	18/21" SPREAD
	20	IRIS VERSICOLOR	BLUE FLAG	#2 CONT.
	18	HEMEROCALLIS SPP.	DAYLILIES, SELECT	#2 CONT.
	12	CAREX PENSYLVANICA	SEDGE	#2 CONT.
	8	JUNIPERUS CHINENSIS	COMPACT PFTIZER JUNIPER	4'-5' SPREAD
	6	RHODODENDRON IMPEDITUM	DWARF PURPLE RHODODENDRON	#3 CONT.
	5	RHODODENDRON 'GINNY GEE'	SMALL-LEAVED RHODODENDRON	#2 CONT.

EXTERIOR LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	FIXTURE DESCRIPTION	QUANTITY
1	ENVISION LED	6700 LUMENS LED WALL PACK LUMINAIRES WITH "FULL CUTOFF OPTICS" CATEGORY # LED-WPFC-ARC-3P65-T8, OR APPROVED EQUAL	8
2	ENVISION LED	1100 LUMENS LED COMMERCIAL DOWNLIGHTS WITH "FULL CUTOFF OPTICS" CATEGORY # LED-CADM-3M20-5CCT, OR APPROVED EQUAL	4

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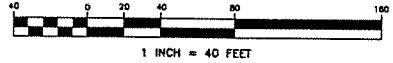
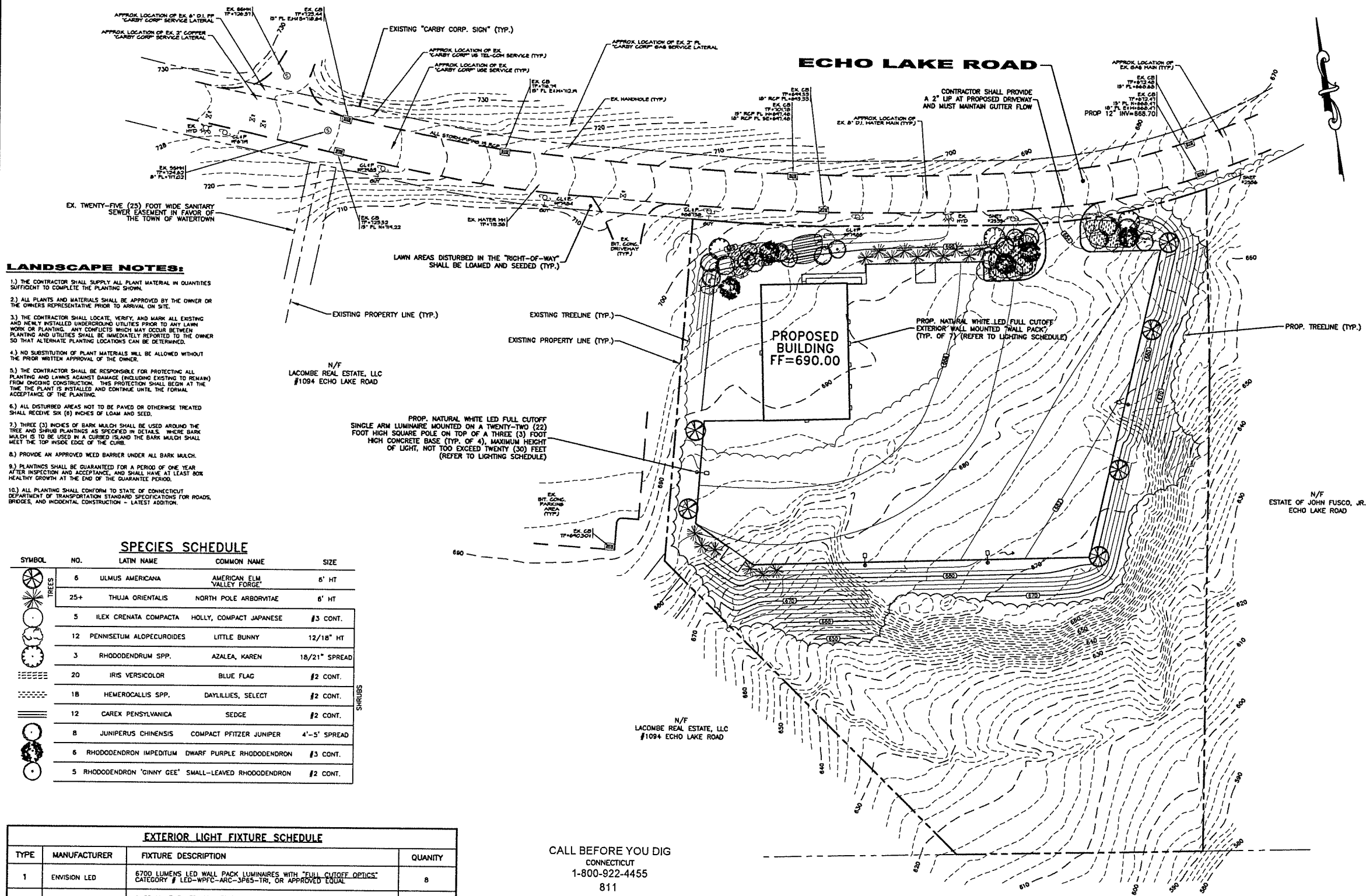
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REVISIONS
1
2
3
4
5
6

DRAWN BY: DAH	DATE: 07/08/26
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CONNECTICUT FEDERATION OF PLANNING & ZONING AGENCIES QUARTERLY NEWSLETTER

Summer 2026

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EXPERT OPINION NOT CONTROLLING ON COMMISSION

An application to convert a vacant bank into a school or nursery was denied by the commission, in part, for traffic concerns. The property was a corner lot located on the Boston Post Road. The area already dealt with heavy traffic and there were concerns from neighbors and commissioners that adding this use, with the many drop-offs and pickups, would further degrade traffic safety and congestion. The application was denied.

On appeal to Superior Court, the applicant claimed that the Commission ignored the only expert testimony on traffic which found no negative impact from the proposed use and thus the Commission's decision was not based upon substantial evidence as it relied on testimony from neighbors as well as the Commissioners' own knowledge as to traffic conditions at the site.

The court denied the appeal, stating that "Neither the Connecticut Supreme Court nor the Appellate Court has ever held that traffic congestion and safety concerns are so complicated and complex, as to require expert testimony." Testimony of nonexperts can form the basis of support for a commission decision even when contradicted by expert opinion. *Apple Montessori Schools LLC v. Planning & Zoning Commission*, FBT-CV-25-6150043 (5.29.26)

EXPERT'S OPINION FOUND NOT TO BE EVIDENCE

An expert's opinion, unsupported by reference to recognized treatises, manuals or anecdotal evidence from the expert's experience, does not qualify as substantial evidence and cannot be relied upon to support an agency's decision.

In this case, a municipal water pollution and control agency relied upon the town engineer's opinion that the application to connect to the public sewer system be denied as the additional sewage flow from the proposed development would result in the sewer line reaching 90% capacity, precluding additional connections. This opinion was unsupported by reference to any existing town policy, regulation or practice nor was any reference made to a manual or other professional treatise. Such an unsupported expert opinion did not qualify as substantial evidence in the opinion of the court and could thus not provide evidentiary support for the WPCA's denial of the application. *Baywing LLC v. Water Pollution Control Authority*, 239 Conn. App. 153 (2026).

REGULATION THAT PROHIBITS HOTELS DOES NOT PROHIBIT SHORT-TERM RENTALS

A zoning regulation that prohibits hotels and motels and limits non-transient roomers or borders to 3 persons per dwelling unit does not

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prohibit the short-term rental of a single-family home to a family. The court based this ruling on the strict interpretation of the zoning regulations which did not define non-transient roomers, rooming house or tourist home.

Since these terms, as commonly defined, applied to the rental of a single room in a house, it was ambiguous whether they applied to the short-term rental of an entire house to a family.

It is a fundamental principle of zoning that when more than one interpretation of a regulation is possible, restrictions on the use of land are not to be extended by implication and doubtful language will be construed against rather than in favor of the restriction.

Since the zoning regulations were unclear and could be interpreted in more than one way, the court ruled in favor of the land owner and against applying a restriction to the use of his property, allowing the short-term rental use to continue. *Instant Property Solutions LLC v. Zoning Board of Appeals*, HHD-CV-24-6184621 (10.31.25).

ZBA DECISION DOES NOT HAVE CONTROLLING EFFECT ON PZC

A special permit application to permit 7 first floor apartments in a building with existing apartments on higher floors was approved. The application concerned a section of the zoning regulations which allowed for the conversion of first floor retail space to

apartments in mixed use buildings. A prior application to the zoning board of appeals for a variance to allow for the conversion had been denied.

The appeal of the approval was based in part on the issue of whether the prior zoning board of appeals denial precluded the planning commission from approving the application. The zoning regulations included a requirement that the special permit, if approved, would not be detrimental to the comprehensive plan. In denying the variance application, the zoning board of appeals had found that the proposed project would not be in compliance with the comprehensive plan.

The court found that under Connecticut's zoning scheme, zoning boards of appeal and planning and zoning commissions occupy distinct and separate realms and the decisions of one commission do not have a precluding effect on the other. *Delvecchio v. City Plan Commission*, CV-25-6157147 (6.15.26)

FINDING OF ADVERSE IMPACT NEEDED TO SUPPORT DENIAL

A denial of an application to conduct a regulated activity was reversed in court because there was no evidence in the record that the proposed activity would have a significant adverse impact on a wetlands or watercourse. The proposed activity would take place entirely within upland review areas. Concerns were raised because these

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activities were located upslope from a high functioning wetland.

The evidence in the record consisted of the applicant's expert testimony that the proposed development, a multi-family building, would not have an adverse impact on wetlands. Lay testimony from neighbors focused on possible harm from stormwater runoff and the loss of trees. The court found this evidence to be speculation. Evidence of a potential impact to a wetland is insufficient to constitute substantial evidence. *Mountain Development Corp. v. Inland Wetlands and Watercourses Commission*, FBT-CV-22-6118364 (6.18.25).

ENHANCED ENFORCEMENT POWERS FOR ZEO

Public Act 25-53 provides that a zoning enforcement officer can commence an enforcement action pursuant to Connecticut General Statutes Sec. 8-12 where an applicant fails to complete any improvement required by a site plan, subdivision or inland wetlands approval or fails to construct an improvement in conformance with these approvals. The Public Act also authorizes municipalities to adopt an ordinance that establishes penalties for these violations. Thus, noncompliance issues associated with approvals of site plan, subdivision and inland wetlands applications are now treated the same as other violations of the applicable regulations. What remains unanswered

is if the enforcement action is commenced by the issuance of a cease and desist order, is an appeal to the zoning board of appeals available.

ANNOUNCEMENTS

Membership Dues

Notices for this year's annual membership dues were mailed March 1, 2026. The Federation operates solely on the funds provided by its members. So that we can continue to offer the services you enjoy, please pay promptly.

Workshops

Four hours of Commissioner training must be completed once every four years or once each term of a commissioner. At the price of \$200.00 per session for each agency attending, our workshops are an affordable way for your board to 'stay legal'. **Email us at contact.cfpza@gmail.com to schedule a workshop.**

ABOUT THE EDITOR

Steven Byrne is an attorney with an office in Farmington, Connecticut. A principal in the law firm of Byrne & Byrne LLC, he maintains a strong focus in the area of land use law and is available for consultation and representation in all land use matters both at the administrative and court levels.

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